



**DISTRICT OF 100 MILE HOUSE**

**AGENDA FOR THE REGULAR MEETING OF THE MUNICIPAL COUNCIL  
TO BE HELD IN MUNICIPAL COUNCIL CHAMBERS  
Tuesday, August 12<sup>th</sup>, 2025 at 5:30 PM**

<b>A.</b>	<b><u>CALL TO ORDER</u></b>
	Mayor to call the regular meeting to order at 5:30 PM and acknowledged that this meeting is being held on Tsqescencúlecw.
<b>B.</b>	<b><u>APPROVAL OF AGENDA:</u></b>
	<b>B1</b> <b>BE IT RESOLVED THAT</b> the August 12 <sup>th</sup> , 2025 Regular Council agenda <u>be approved</u> .
<b>C.</b>	<b><u>INTRODUCTION OF LATE ITEMS AND FROM COMMITTEE OF THE WHOLE:</u></b>
<b>D.</b>	<b><u>DELEGATIONS / PUBLIC HEARING:</u></b>
<b>E.</b>	<b><u>MINUTES:</u></b>
<b>Special Regular – July 22<sup>nd</sup>, 2025</b>	<b>E1</b> <b>BE IT RESOLVED THAT</b> the minutes of the Special Regular Council meeting of July 22 <sup>nd</sup> , 2025 <u>be adopted</u> .
<b>Special Regular – July 31<sup>st</sup>, 2025</b>	<b>E2</b> <b>BE IT RESOLVED THAT</b> the minutes of the Special Regular Council meeting of July 31 <sup>st</sup> , 2025 <u>be adopted</u> .



<b>F.</b>	<b><u>UNFINISHED BUSINESS:</u></b>
<b>G.</b>	<b><u>MAYOR'S REPORT:</u></b>
<b>H.</b>	<b><u>CORRESPONDENCE:</u></b>
<b>FYI Correspondence</b>	<p><b>H1</b></p> <p><b>BE IT RESOLVED THAT</b> the For Information Correspondence List dated August 7<sup>th</sup>, 2025 <u>be received</u>.</p>
<b>I.</b>	<b><u>STAFF REPORTS:</u></b>
<b>Development Variance Permit – 270 Third Street</b>	<p><b>I1</b></p> <p><b>BE IT RESOLVED THAT</b> Council of the District of 100 Mile House issue a Development Variance Permit to the Cariboo Chilcotin Regional Hospital Board for the property located at 270 Third Street and legally described as Lot 2, Plan 8930, DL 31, Lillooet District to vary Zoning Bylaw No. 1290, 2016 as follows:</p> <ul style="list-style-type: none"> <li>a) To vary section 5.0 Off-street Parking and Loading Requirements, Tables 1 and 2 from the combined off-street parking requirements totalling 13 spaces to 12 spaces;</li> <li>b) To vary section 5.2.6 a) from an off-street parking space width of 2.8 metres to 2.5 metres for one small-car parking space; and</li> <li>c) To vary section 10.1.9 Minimum Floor Area for 2 one-bedroom apartments from 61m<sup>2</sup> to 45m<sup>2</sup> and 49m<sup>2</sup>.</li> </ul> <p>in substantial accordance with the application as submitted on June 4, 2025; and further</p> <p><b>BE IT RESOLVED THAT</b> the Director of Economic Development &amp; Planning duly executes the Permit.</p>



<p><b>Development Permit – 270 Third Street</b></p>	<p><b>I2</b></p> <p><b>BE IT RESOLVED THAT</b> Council of the District of 100 Mile House authorizes a Central Business District Development Permit be issued to the Cariboo Chilcotin Regional Hospital District for the construction of a new mixed use office-residential building as proposed, and in substantial accordance with the application submitted on June 5, 2025, on the property having a legal description of Lot 2, Plan 8930, DL 31, Lillooet District, also known as 270 Third St; and further</p> <p><b>BE IT RESOLVED THAT</b> as a condition of executing this Development Permit, the following conditions must first be met:</p> <ul style="list-style-type: none"> <li>• Security in the amount of \$224,940.00 be taken for landscaping and off-site works, including: <ul style="list-style-type: none"> <li>○ a sidewalk extension along the south side of the property from Cedar Ave to the lane;</li> <li>○ paving and curb works on Third Street adjacent to the property; and further</li> </ul> </li> </ul> <p><b>BE IT RESOLVED THAT</b> the Director of Economic Development &amp; Planning duly executes the Permit; and finally</p> <p><b>BE IT RESOLVED THAT</b> this Development Permit shall expire 2 years after the date it is issued, as per section 504 (1) of the <i>Local Government Act</i>.</p>
<p><b>Bylaw Report July 2025</b></p>	<p><b>I3</b></p> <p><b>BE IT RESOLVED THAT</b> the Bylaw report for the period of July 1<sup>st</sup> to 31<sup>st</sup>, 2025 <u>be received</u>.</p>
<p><b>2025 Property Tax Collection Report</b></p>	<p><b>I4</b></p> <p><b>BE IT RESOLVED THAT</b> the 2025 Property Tax Collection report <u>be received</u>.</p>
<p><b>Shipping Container Follow-up</b></p>	<p><b>I5</b></p> <p><b>BE IT RESOLVED THAT</b> the shipping container follow-up report dated Aug.5 2025 from the Director of Economic Development and Planning <u>be received</u>.</p> <p style="text-align: center;"><b>“Further direction requested from Council”</b></p>



<b>Tax Exemption Application</b>	<p><b>I6</b></p> <p><b>BE IT RESOLVED THAT</b> the tax exemption bylaw memo dated Aug.7 2025 from the Director of Finance <u>be received</u>.</p> <p><b>“Further direction requested from Council”</b></p>
<b>OCP and Zoning Update</b>	<p><b>I7</b></p> <p>Verbal update from the Director of Economic Development and Planning on current projects.</p>
<b>J.</b>	<b><u>BYLAWS:</u></b>
<b>K.</b>	<b><u>VOUCHERS</u></b>
<b>Paid Vouchers (July 1<sup>st</sup> – July 31<sup>st</sup>) #30766 – #30816 &amp; EFTs</b>	<p><b>K1</b></p> <p><b>BE IT RESOLVED THAT</b> the paid manual vouchers #30766 to #30816 and EFT’s totaling \$ <b>4,052,159.58</b> <u>be received</u>.</p>
<b>L.</b>	<b><u>OTHER BUSINESS:</u></b>
<b>M.</b>	<p><b><u>QUESTION PERIOD:</u></b></p> <p>Call for questions from the public for items relevant to the agenda.</p>
	<b><u>IN CAMERA SESSION:</u></b>
<b>In Camera</b>	<p><b>BE IT RESOLVED THAT</b>, pursuant to Section 92 of the <i>Community Charter</i>, this meeting of the Council be closed to the public under Section 90 (1)(k) of the Community Charter.</p> <p>Regular meeting called back to order at:</p>
<b>N.</b>	<p><b><u>ADJOURNMENT :</u></b></p> <p><b>BE IT RESOLVED THAT</b> this August 12<sup>th</sup>, 2025, meeting of Council be adjourned:      Time:</p>





E1

## **DISTRICT OF 100 MILE HOUSE**

### **MEETING HELD IN DISTRICT COUNCIL CHAMBERS Tuesday, July 22<sup>nd</sup>, 2025, AT 5:30 PM**

PRESENT: Mayor Maureen Pinkney  
Councillor Donna Barnett  
Councillor Jenni Guimond  
Councillor Marty Norgren

STAFF: CAO T. Boulanger  
Dir. of Community Services T. Conway  
Dir. of Ec. Dev. & Planning J. Doddridge

Other: (4) Media: (1)

<b>A</b>	<b><u>CALL TO ORDER</u></b>  Mayor Pinkney called the regular meeting to order at 5:30 PM and acknowledged that this meeting is being held on Tsq̓escencúlecw.
<b>B</b>	<b><u>APPROVAL OF AGENDA</u></b>  <b>B1</b>  <b>Res: 178/25</b> Moved By: Councillor Guimond Seconded By: Councillor Barnett  <b>BE IT RESOLVED THAT</b> the July 22 <sup>nd</sup> , 2025 Special Regular Council agenda <u>be approved</u>  <p style="text-align: center;"><b>CARRIED</b></p>
<b>C</b>	<b><u>INTRODUCTION OF LATE ITEMS AND FROM THE COMMITTEE OF THE WHOLE:</u></b>



<b>D</b>	<b><u>DELEGATIONS / PUBLIC HEARINGS:</u></b>
<b>E</b>	<b><u>MINUTES</u></b>
<b>Regular – July 8<sup>th</sup> 2025</b>	<p><b>E1</b></p> <p><b>Res: 179/25</b>  Moved By: Councillor Barnett  Seconded By: Councillor Norgren</p> <p><b>BE IT RESOLVED THAT</b> the minutes of the Regular Council meeting of July 8<sup>th</sup>, 2025 <u>be adopted</u>.</p> <p style="text-align: center;"><b>CARRIED</b></p>
<b>F</b>	<b><u>UNFINISHED BUSINESS:</u></b>
<b>G</b>	<b><u>MAYORS REPORT:</u></b>
	<p>Mayor Pinkney noted the following:</p> <ul style="list-style-type: none"> <li>➤ Hot July Nights out-did themselves again. Great to see so many local &amp; out of town participants. Had the pleasure of choosing some winning entries. A heartfelt thank you to all of the volunteers and sponsors for helping making this event possible.</li> <li>➤ Will be participating in the pride parade through downtown and into Centennial Park.</li> </ul> <p>Councillor Norgren noted the following:</p> <ul style="list-style-type: none"> <li>➤ Attended the Hot July Nights event, fantastic!</li> <li>➤ Pride in the Park this coming weekend.</li> </ul> <p>Councillor Guimond noted the following:</p> <ul style="list-style-type: none"> <li>➤ Attended the Hot July Nights and hosted the poker walk. Phenomenal event, great to see the streets full.</li> </ul> <p>Councillor Barnett noted the following:</p> <ul style="list-style-type: none"> <li>➤ Hot July Nights was a great success, rod run out to Canim Lake, Saturday poker run, dinner and dance and Sunday event were all well attended. With over 450 entries and 100 volunteers it was a big success. Thanks to business that were open on Sunday to welcome participants and spectators.</li> <li>➤ 50<sup>th</sup> Anniversary at the Heritage Site is this coming</li> </ul>



	<p>weekend, celebrations will be underway at 11:00 am and the dinner and dance to help raise barn repair funds will start at 5:00 pm.</p> <ul style="list-style-type: none"> <li>➤ Working with District staff to complete a NDIT grant funding application for the 100 Mile House Museum.</li> <li>➤ Working with CMHC &amp; Federal program at one last attempt at acquiring funding for the seniors housing project.</li> </ul>
<b>H</b>	<b><u>CORRESPONDENCE:</u></b>
<b>FYI Correspondence</b>	<p><b>H1</b></p> <p><b>Res: 180/25</b>  Moved By: Councillor Barnett  Seconded By: Councillor Guimond</p> <p><b>BE IT RESOLVED THAT</b> the For Information Correspondence List dated July 18<sup>th</sup>, 2025 <u>be received;</u> and further</p> <p><b>BE IT RESOLVED THAT</b> staff extend an invitation to CN representatives to meet with Mayor and Council, and further;</p> <p><b>BE IT RESOLVED THAT</b> District staff be directed to submit a letter stressing the importance of the retaining the railway to CN Stakeholders Relations, Provincial Minister of Transportation and Transit, Federal Minister of Transportation and cc the following First Nations and Local Governments:</p> <ul style="list-style-type: none"> <li>• Esk'etemc (Alkali Lake)</li> <li>• High Bar First Nation</li> <li>• Spelqweqs Development LP</li> <li>• Stswecem'c Xgat'tem First Nation (Canoe Creek, Dog Creek)</li> <li>• St'uxwtéws (Bonaparte First Nation)</li> <li>• TL'esqox (Toosey / Riskie Creek)</li> <li>• Tl'etingox Government (Anaham)</li> <li>• Tsideldel First Nation (Alexis Creek)</li> <li>• Tšilhqot'in National Government</li> <li>• Tsqéscen' First Nation (Canim Lake Band)</li> <li>• Williams Lake First Nation</li> <li>• Xatšúll (Soda Creek Indian Band)</li> <li>• Village of Ashcroft</li> <li>• Village of Clinton</li> </ul>



	<ul style="list-style-type: none"> <li>• Village of Cache Creek</li> <li>• District of Lillooet</li> <li>• City of Williams Lake</li> <li>• City of Quesnel</li> <li>• City of Prince George</li> <li>• Cariboo Regional District</li> <li>• Thompson Nicola Regional District</li> <li>• MLA Lorne Doerkson</li> </ul> <p style="text-align: right;"><b>CARRIED</b></p>
<b>I</b>	<b><u>STAFF REPORTS:</u></b>
<b>Development Variance Permit – 270 Third Street</b>	<p><b>I1</b></p> <p><b>Res: 181/25</b>  Moved By: Councillor Barnett  Seconded By: Councillor Guimond</p> <p><b>BE IT RESOLVED THAT</b> Council of the District of 100 Mile House authorize staff to proceed with the notification process, including notification of adjoining property owners, of Council's intent to consider issuance of a Development Variance Permit to the Cariboo Chilcotin Regional Hospital Board for the property located at 270 Third Street and legally described as Lot 2, Plan 8930, DL 31, Lillooet District to vary Zoning Bylaw No. 1290, 2016 as follows:</p> <ul style="list-style-type: none"> <li>a) To vary section 5.0 Off-street Parking and Loading Requirements, Tables 1 and 2 from the combined off-street parking requirements totalling 13 spaces to 12 spaces;</li> <li>b) To vary section 5.2.6 a) from an off-street parking space width of 2.8 metres to 2.5 metres for one small-car parking space; and</li> <li>c) To vary section 10.1.9 Minimum Floor Area for 2 one-bedroom apartments from 61m<sup>2</sup> to 45m<sup>2</sup> and 49m<sup>2</sup>.</li> </ul> <p>in substantial accordance with the application as submitted on June 4, 2025.</p> <p style="text-align: right;"><b>CARRIED</b></p>



<p><b>100 Mile House Lodge Museum Project</b></p>	<p><b>I2</b></p> <p><b>Res: 182/25</b>  Moved By: Councillor Norgren  Seconded By: Councillor Barnett</p> <p><b>BE IT RESOLVED THAT</b> Council of the District of 100 Mile House supports the application to Northern Development Initiative Trust for a Cultural Infrastructure Program grant for \$69,899.20, representing 70% of the eligible project budget totalling \$99,856 for the 100 Mile Lodge Museum-Ready Project from the Cariboo-Chilcotin/Lillooet Regional Development Account; and further</p> <p><b>BE IT RESOLVED THAT</b> the Museum Society contribution of \$5,000.00 be applied to the project; and further  <b>BE IT RESOLVED THAT</b> the balance of the project costs totalling \$24,956.80 be allocated from the Community Forest Reserve.</p> <p style="text-align: center;"><b>CARRIED</b></p>
<p><b>J</b></p>	<p><b><u>BYLAWS:</u></b></p>
<p><b>K</b></p>	<p><b><u>GENERAL VOUCHERS:</u></b></p>
<p><b>L</b></p>	<p><b><u>OTHER BUSINESS:</u></b></p>
<p><b>M</b></p>	<p><b><u>QUESTION PERIOD:</u></b></p>
<p><b>In Camera</b></p>	<p><b>Res: 183/25</b>  Moved By: Councillor Barnett  Seconded By: Councillor Norgren</p> <p><b>BE IT RESOLVED THAT</b>, pursuant to Section 92 of the <i>Community Charter</i>, this meeting of the Council be closed to the public under Section 90 (1)(k) of the <i>Community Charter</i>.</p> <p style="text-align: center;"><b>CARRIED</b></p> <p>Regular meeting called back to order at: 6:35 PM</p>



<b>N</b>	<p><b><u>ADJOURNMENT:</u></b></p> <p><b>Res: 184/25</b> Moved By: Councillor Barnett Seconded By: Councillor Norgren</p> <p><b>BE IT RESOLVED THAT</b> this July 22<sup>nd</sup>, 2025 special regular meeting of Council be adjourned: 6:40 PM</p> <p style="text-align: center;"><b>CARRIED</b></p>
	<p>I hereby certify these minutes to be correct.</p> <p>_____ Mayor</p> <p>_____ Corporate Officer</p>





E2

**DISTRICT OF 100 MILE HOUSE**

**MEETING HELD IN DISTRICT COUNCIL CHAMBERS**  
**Thursday, July 31<sup>st</sup>, 2025, AT 3:00 PM**

PRESENT:	Mayor	Maureen Pinkney
	Councillor	Donna Barnett
	Councillor	Jenni Guimond
	Councillor	Dave Mingo
	Councillor	Marty Norgren

STAFF:	Dir. of Community Services	T. Conway
	Dir. of Planning & Ec. Dev.	J. Doddridge
	Dir. of Finance	S.Elias

Other:	(0)	Media:	(0)
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<b>A</b>	<p><b><u>CALL TO ORDER</u></b></p> <p>Mayor Pinkney called the special meeting to order at 3:00 PM</p> <p>Mayor Pinkney acknowledged that this meeting is being held on Tsqescencúlecw.</p>
<b>B</b>	<p><b><u>APPROVAL OF AGENDA</u></b></p>
	<p><b>B1</b></p> <p><b>Res: 185/25</b>  Moved By: Councillor Mingo  Seconded By: Councillor Barnett</p> <p><b>BE IT RESOLVED THAT</b> the May 16<sup>th</sup>, 2025 Special Regular Council agenda <u>be approved</u>.</p> <p><b>BE IT RESOLVED THAT</b>, pursuant to Section 92 of the <i>Community Charter</i>, this meeting of the Council be closed to the public under Section 90 (2)(b) and 90(1)(c) of the <i>Community Charter</i>.</p>



	Regular meeting called back to order at: 4:25 PM  <b>CARRIED</b>
<b>C</b>	<b><u>INTRODUCTION OF LATE ITEMS AND FROM THE COMMITTEE OF THE WHOLE:</u></b>
<b>D</b>	<b><u>DELEGATIONS / PUBLIC HEARINGS:</u></b>
<b>E</b>	<b><u>MINUTES</u></b>
<b>F</b>	<b><u>UNFINISHED BUSINESS:</u></b>
<b>G</b>	<b><u>MAYORS REPORT:</u></b>
<b>H</b>	<b><u>CORRESPONDENCE:</u></b>
<b>I</b>	<b><u>STAFF REPORTS:</u></b>
<b>J</b>	<b><u>BYLAWS:</u></b>
<b>K</b>	<b><u>GENERAL VOUCHERS:</u></b>
<b>L</b>	<b><u>OTHER BUSINESS:</u></b>
<b>M</b>	<b><u>QUESTION PERIOD:</u></b>
<b>N</b>	<b><u>ADJOURNMENT:</u></b>  <b>Res: 186/25</b> Moved By: Councillor Norgren Seconded By: Councillor Guimond  <b>BE IT RESOLVED THAT</b> this July 31 <sup>st</sup> , 2025 special meeting of Council be adjourned: 4:26 PM  <b>CARRIED</b>
	I hereby certify these minutes to be correct.  <div style="display: flex; justify-content: space-between;"> <div>_____ Mayor</div> <div>_____ Corporate Officer</div> </div>



H1



**DISTRICT OF 100 MILE HOUSE**

**FOR INFORMATION CORRESPONDENCE – August 7<sup>th</sup>, 2025  
Received August 12<sup>th</sup> - Regular Council Meeting**

- Correspondence from NCLGA
- Correspondence from Northern Innovation Network



## Sheena Elias

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**From:** Bettina Johnson <bjohnson@nclga.ca>  
**Sent:** August 1, 2025 11:15 AM  
**Cc:** Sandra Moore  
**Subject:** Survey on Mental Health & Addictions Accord – Invite for new Signatories

To: NCLGA membership, First Nation communities in North Central BC, and 2024 Symposium participants

The Accord survey is to receive input from local governments and agencies on key advocacy priorities related to mental health and addictions, and to invite additional agencies and local governments to consider joining as a Signatory of the Mental Health and Addictions Accord, in the lead up to the 2025 Mental Health and Addictions Symposium.

*Please complete the survey by August 11, 2025: [Survey on the Mental Health & Addictions Accord](#)*

Learn more about the Accord [here](#)

Save-the-date! The 2025 Mental Health & Addictions Symposium is being held on October 15, 2025, in Prince George. The Symposium will be workshop-style, open to current and new signatory agencies, and focused on discussing ways to collectively advance advocacy strategies and providing opportunities for dialogue and sharing best practices/learnings. Please check our website periodically ([nclga.ca](http://nclga.ca)) for updates. An email with more information and registration details will also be emailed to Signatories in early fall.

Contact Sandra Moore, [admin@nclga.ca](mailto:admin@nclga.ca), for any questions regarding the Symposium.

Thank you,

Bettina Johnson  
Communications Support  
North Central Local Government Association



[www.nclga.ca](http://www.nclga.ca)  
ph 250-299-7220





August 1, 2025

**Mayor Maureen Pinkney**

100 Mile House  
Box 340 385 Birch Avenue  
100 Mile House, BC, V0K 2E0

Dear Mayor Maureen Pinkney,

I am writing to extend a warm invitation to you and Council for the **Northern Angel Summit Finale**, taking place on **September 25, 2025, at 7:00 PM**, in Prince George, British Columbia. This landmark event is a cornerstone of innovation and economic growth for the North and presents an unparalleled opportunity for civic and business leaders to demonstrate their commitment to the future of our region.

As those who are deeply invested in the economic development of your city and region, your presence at the Summit will signal strong support for innovation as a primary driver of long-term prosperity. This is not a conference—it is a gathering of visionary investors, trailblazing entrepreneurs, and community leaders who understand that **innovation is the key that unlocks sustainable growth** in Northern British Columbia.

We are encouraging mayors, chiefs, councillors, economic development officers, and business leaders from across the North to attend and participate. While this invitation does not include a complimentary pass, we hope you'll see the value in purchasing tickets and making this investment into the fabric of our communities.

**Michael Walsh** is this year's keynote speaker. He is a visionary leader, speaker, author, and founder of the Walsh Business Growth Institute. The author of *Business Growth by Design*, *Big Ideas Are Not Enough*, and his latest Amazon #1 Bestseller book, *Freedom by Design*, Michael ignites passion in the entrepreneurs he works with by helping them drive their businesses to growth levels beyond their expectations. His engaging storytelling has inspired entrepreneurs around the world, and his insights into what makes ventures—and regions—economically resilient will inspire us to action. His presence at the Summit underscores the growing national interest in the innovations emerging from our region.

**Early bird tickets are available for \$75:** 🟡 <https://northernangelsummit.ca/tickets>

Each person attending will **receive a free copy of Michael Walsh's latest book, Freedom by Design.**

We encourage you to get your tickets today, as seats are limited and interest across the region is strong. Your participation will help amplify the message that northern communities are open for business, rich with talent, and ready to lead in innovation.

Thank you for your ongoing leadership and commitment to the success of your region and our northern economy. We look forward to welcoming you to the Northern Angel Summit Finale this September.

Warm regards,

Mary Mytting, Executive Director





**District of  
100 MILE HOUSE**

**COUNCIL REPORT  
File No. 570-01**

**Regular Council Meeting  
Aug. 12, 2025**

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**REPORT DATE:** July 31, 2025  
**TITLE:** Development Variance Permit – 270 Third St.  
**PREPARED BY:** J. Doddridge, Director of Economic Development & Planning

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**PURPOSE:** To present Council with a Development Variance Permit (DVP) application for a decision.

**RECOMMENDATION:** Recommended Resolution

BE IT RESOLVED THAT Council of the District of 100 Mile House issue a Development Variance Permit to the Cariboo Chilcotin Regional Hospital Board for the property located at 270 Third Street and legally described as Lot 2, Plan 8930, DL 31, Lillooet District to vary Zoning Bylaw No. 1290, 2016 as follows:

- a) To vary section 5.0 Off-street Parking and Loading Requirements, Tables 1 and 2 from the combined off-street parking requirements totalling 13 spaces to 12 spaces;
- b) To vary section 5.2.6 a) from an off-street parking space width of 2.8 metres to 2.5 metres for one small-car parking space; and
- c) To vary section 10.1.9 Minimum Floor Area for 2 one-bedroom apartments from 61m<sup>2</sup> to 45m<sup>2</sup> and 49m<sup>2</sup>.

in substantial accordance with the application as submitted on June 4, 2025; and further

BE IT RESOLVED THAT the Director of Economic Development & Planning duly executes the Permit.





## **BACKGROUND INFORMATION / DISCUSSION:**

On July 30, 2025, the following notifications were made:

- Notifications delivered by mail to property owners and tenants within a 60m radius of the subject property
- Notice was posted at the District's posting place; and
- Notice was posted on the District of 100 Mile House website and sent to subscribers.

To date, no written submissions have been received. Any written submissions received by 4:00 pm on Aug. 12, 2025 will be presented at the Aug. 12th Regular Council Meeting.

**OPTIONS:** Authorize the Development Variance Permit; or  
Dendy the Development Variance Permit

**BUDGETARY IMPACT:** N/A

**LEGISLATIVE CONSIDERATIONS (Applicable Policies and/or Bylaws):** N/A

**ATTACHMENTS:** DVP application  
Subject property map

**Prepared By:** J. Doddridge  
J. Doddridge, Dir Ec Dev & Planning

**Date:** July 31/25

**Reviewed By:** \_\_\_\_\_  
T. Boulanger, CAO

**Date:** \_\_\_\_\_





DISTRICT OF  
**100 Mile House**

#1-385 Birch Avenue, PO Box 340  
100 Mile House, BC, V0K 2E0  
250-395-2434  
district@100milehouse.com

## LAND USE APPLICATION

Reference to Land Use Application Procedure and Fees Bylaw No. 1258

Official Community Plan  
Zoning Amendment  
Board of Variance

Development Permit  
Development Variance Permit

***Applicants are advised to consult with the District of 100 Mile House staff  
before submitting an application.***

**\*\*This application will not be accepted unless it is complete, and the required fee(s) and plans are attached\*\***

### APPLICATION TYPE

Check appropriate box(s)

- |   |        |                 |
|---|--------|-----------------|
| <input type="checkbox"/> Development Permit                                       | Fee \$ |                 |
| <input checked="" type="checkbox"/> Development Variance Permit                   | Fee \$ | 400.00          |
| <input type="checkbox"/> Zoning Bylaw Amendment                                   | Fee \$ |                 |
| <input type="checkbox"/> Official Community Plan Bylaw Amendment                  | Fee \$ |                 |
| <input type="checkbox"/> Joint Zoning and Official Community Plan Bylaw Amendment | Fee \$ |                 |
| <input type="checkbox"/> Board of Variance  | Fee \$ |                 |
| <b>Total Fee</b>  |        | <b>\$400.00</b> |

### PROPERTY INFORMATION

Legal Description of Property(s): Lot 2 District Lot 31 Lillooet District Plan 8930

Civic Address of Property(s): 270 A & B Third Street

Size of Property(s): 8184 sq ft BC Assessment Roll No.: 072.000

Current Zoning: C-1 Current OCP Designation: Commercial CBD

Proposed Zoning: N/C Proposed OCP Designation: N/C

### FOR OFFICE USE ONLY

Application Fee Paid: \$ 400.00

Receipt Number: 103451

Received by: [Signature]

Date: June 4, 2025



## INFORMATION FORM

APPLICANT/AGENT	OWNER(S)
Name: <u>Cariboo Regional District</u>	Name: <u>Cariboo Chilcotin Regional Hospital District</u>
Mailing Address: <u>Suite D 180 Third Avenue N</u> <u>Williams Lake, BC</u>	Mailing Address: <u>Suite D 180 Third Avenue N</u> <u>Williams Lake, BC</u>
Postal Code: <u>V2G 2A4</u>	Postal Code: <u>V2G 2A4</u>
Phone Numbers: (Bus): <u>250-392-3351</u>	Phone Numbers: (Bus): <u>250-392-3351</u>
(Home): _____	(Home): _____
(Fax): _____	(Fax): _____
E-mail: <u>lloveng@cariboord.ca</u>	E-mail: <u>ajohnston@cariboord.ca</u>

If the applicant is not the registered owner, complete the owner information and have the property owner(s) sign the application form. Note also the owner requirement in Attachment H.

As owner(s) of the land described in this application, I/we hereby authorize Larry Loveng to act as applicant in regard to this land development application.

Signature: L. Johnston      Signature: \_\_\_\_\_  
 Date: June 4, 2025      Date: \_\_\_\_\_

I have attached the required documentation as noted on the Application Submission Checklist, along with the required application fee and hereby agree to submit further information deemed necessary for processing this application. Furthermore, I hereby acknowledge that any fees paid are non-refundable except as noted on the fee schedule, if applicable.

I also certify that the information contained herein is correct to the best of my knowledge and belief. I understand **this application, including any plans submitted, is public information.** I authorize reproduction of any plans/reports for the purposes of application processing and reporting.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

I/We Cariboo Regional District agree to allow the agents of the District of 100  
 (Applicant's Name)

Mile House to enter onto the subject property to inspect the land and buildings.

**A copy of a State Title of Certificate, or a copy of a Certificate of Indefeasible Title, dated no more than thirty (30) days prior to submission of the application must accompany the application as a proof of ownership.**



**DESCRIPTION OF EXISTING LAND USE: (use separate sheet if necessary)**

This lot currently houses two vacant commercial buildings.

**DESCRIPTION OF PROPOSED DEVELOPMENT/USE/BYLAWS CHANGE:**

(use separate sheet if necessary)

Our plan for this location is to demolish the current vacant buildings and build a new location for our Cariboo Regional District & Cariboo Chilcotin Regional Hospital District offices, as we have outgrown our current location. We will also have 3 apartments for physicians and health care workers as they move to the area.

We need a variance for the one bedroom apartments, as they are undersized. They should be 61m<sup>2</sup> but one apartment is 45m<sup>2</sup> and the other is 49m<sup>2</sup>. The variance needed is 16m<sup>2</sup> for the one and 12m<sup>2</sup> for the other.

We also need a variance for 1 parking space, as we are short 1 of the required amount of spaces. A variance is required for a small car parking space also.



Services Currently Existing or Readily Available to the Property (check applicable area)

Services	Currently Existing		Readily Available*	
	YES	NO	YES	NO
Road Access	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hydro	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Telephone	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
School Bus Service	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**NOTE:**\*Readily available means existing services can be easily extended to the subject property.

**Proposed Water Supply Method**

District of 100 Mile House

**Proposed Sewage Disposal Method**

District of 100 Mile House

**Approximate Commencement Date of Proposed Project**

May 26, 2025 for demolition

**Reasons in Support of Application**

Reasons and comments in support of the application (use separate sheet if necessary)

Currently the buildings in this location are not visually appealing. Our goal is to build a space that meets our needs as a Regional District as well as benefit the City of 100 Mile House with providing accomodations for visiting and relocating physicians and health care workers. The design of our planned building compliments the design of downtown and will greatly improve the curb appeal in comparison to the current buildings. We have worked within our capabilities to fit as much into this space and appreciate the consideration of a variance for those we were not able to perfect.



**Maps and Drawings:**

The following maps and drawings must accompany the application:

1. A dimensional Sketch Plan drawn to scale showing the parcel(s) or part of the parcel(s) and the location of existing buildings, structures and uses.

Minimum size required: 11 x 17 (ledger size)

2. A dimensional Site Plan drawn to scale showing the proposed use, buildings and structures, elevations, highway access etc.

Minimum size required: 11 x 17 (ledger size)

3. A Contour Map (Plan) drawn to scale with contour interval of up to no more than 10 metres, if warranted by the topographic condition (of the subject site).

Required: Yes ☐ No ☒

**FOR OFFICE USE ONLY**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Application Form Complete                        | <input checked="" type="checkbox"/> Dimensioned Sketch Plan Submitted           |
| <input checked="" type="checkbox"/> Application Fee Received                         | <input checked="" type="checkbox"/> Dimensioned Site Development Plan Submitted |
| <input checked="" type="checkbox"/> Certificate of Title Received                    | <input type="checkbox"/> Contour Map Submitted                                  |
| <input checked="" type="checkbox"/> Authorization of Owner Submitted (if applicable) | <input type="checkbox"/> Other studies/Reports Submitted (if applicable)        |
| <input checked="" type="checkbox"/> Contaminated Sites Declaration Form              |   |



0 5 10 20 30  
SCALE 1 : 300 DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH BY 560mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:300



#### LEGEND

x<sup>o</sup> DENOTES SPOT ELEVATION  
 CB DENOTES CATCH BASIN  
 MH DENOTES MANHOLE  
 WV DENOTES WATER VALVE  
 FH DENOTES FIRE HYDRANT  
 GU DENOTES GUY WIRE  
 PP DENOTES POWER POLE  
 EB DENOTES ELECTRICAL BOX  
 GM DENOTES GAS METER  
 SN DENOTES SIGN  
 TW/BW DENOTES TOP/BOTTOM OF WALL

#### DERIVATIONS

ELEVATIONS ARE IN METRES GEODETIC AND ARE DERIVED FROM CSRS-PPP OBSERVATIONS CGVD28 (HTV2.0)

PROPERTY LINE DIMENSIONS ARE DERIVED FROM FIELD SURVEY AND BC LAND TITLE OFFICE RECORDS

#### LEGAL DESCRIPTION:

LOT 2 DISTRICT LOT 31 LILLOOET DISTRICT PLAN 8930

PARCEL IDENTIFIER: 009-769-030



CERTIFIED CORRECT THIS 14th DAY OF MAY, 2025.

*[Signature]*  
B.C.L.S.  
J. F. SQUIRES

POSITION OF UNDERGROUND SERVICES ARE PLOTTED ACCORDING TO FIELD MEASUREMENTS AND MUNICIPAL RECORDS AND ARE TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

No.	DATE:	REVISION:	DRAWING:	PROJECT:
1	MAY 14 2025		7387-SITE	C.R.D.
2			DRAWN BY:	270 THIRD STREET
3			JFS	100 MILE HOUSE, B.C.
4			CHECKED BY:	
5			JFS	

**AXIS**  
AXIS LAND SURVEYING LTD.  
B.C. & CANADA LAND SURVEYORS  
PO BOX 214  
108 MILE RANCH, B.C. V0K 2Z0  
T. 604-853-2700





100 Mile House

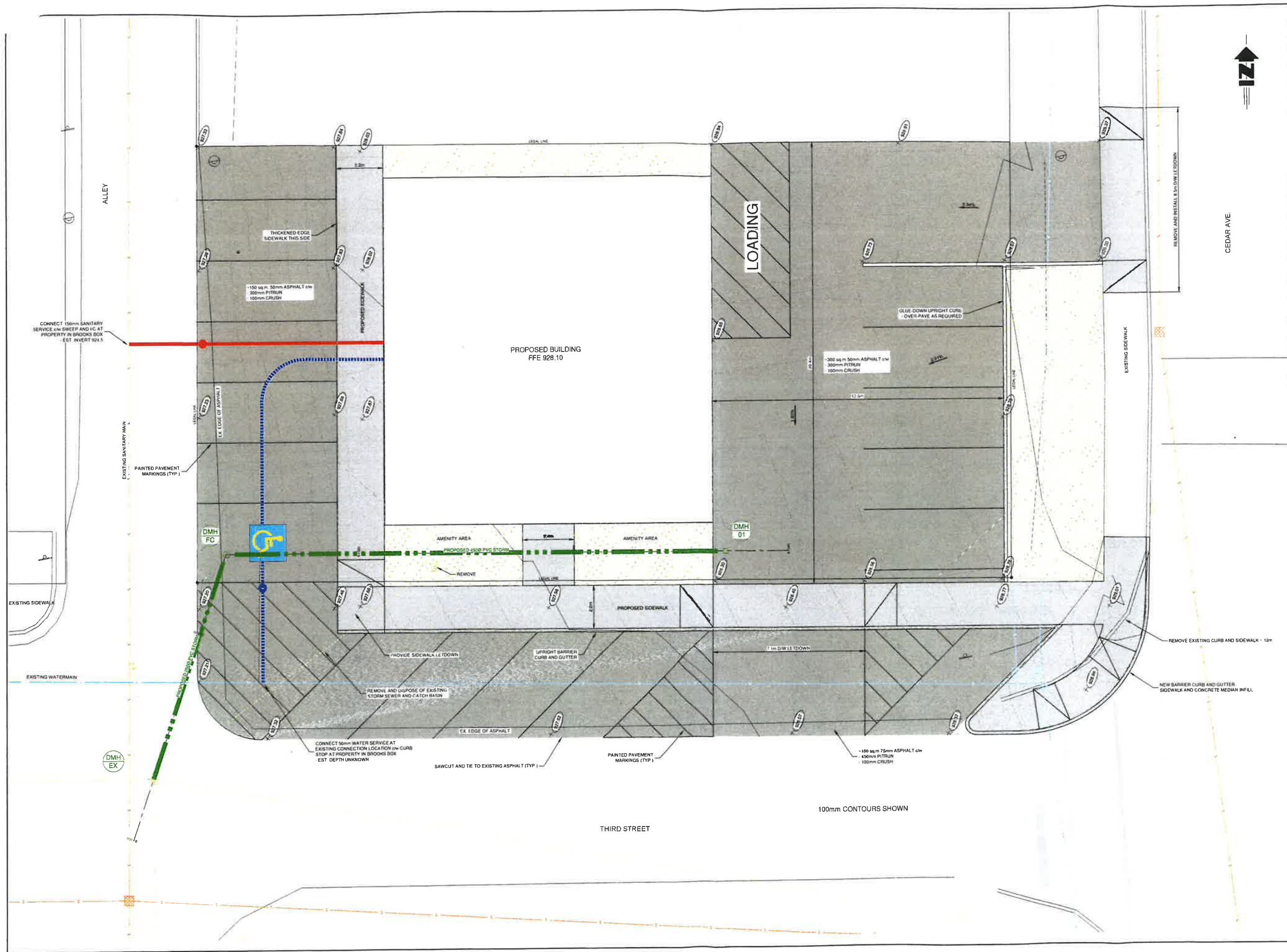
Cariboo Hwy 97

SUBJECT PROPERTY

0 5 10 20 Meters

Date: May 2025





PROPOSED

EXISTING

DESCRIPTION

TOP OF EMBANKMENT

TOP OF EMBANKMENT

TOP OF SLOPE

TOP OF SLOPE

SANITARY MAIN

SANITARY MAIN

STORM SERVICE & IC

STORM SERVICE & IC

STORM DITCH

STORM DITCH

DRAINAGE SWALE

DRAINAGE SWALE

CULVERT

CULVERT

STORM MANHOLE

STORM MANHOLE

TOP / SIDE INLET CB

TOP / SIDE INLET CB

WATER MAIN

WATER MAIN

WATER SERVICE & CS

WATER SERVICE & CS

VALVE

VALVE

STANDOFF PIPE

STANDOFF PIPE

HYDRANT

HYDRANT

AIR RELEASE VALVE

AIR RELEASE VALVE

REDUCER / END CAP

REDUCER / END CAP

OR HYDRO

OR HYDRO

LUG POWER

LUG POWER

GAS

GAS

TEL

TEL

CABLE

CABLE

STREET LIGHT CONDUIT

STREET LIGHT CONDUIT

POWER POLE / ANCHOR

POWER POLE / ANCHOR

LAMP STANDARD

LAMP STANDARD

TEST PIT / AUGER HOLE

TEST PIT / AUGER HOLE

MONUMENT / IRON PIN

MONUMENT / IRON PIN

CONTROL POINT

CONTROL POINT

DRAFT NOT FOR CONSTRUCTION

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION	BY	APP.
-----	------	-------------	----	------

CONSTRUCTION

452 Borland Street - Williams Lake BC - V2G 1R7  
(tel) 250 305 6605 • info@TRUE.bc.ca

100 MILE HOUSE OFFICE

SITE PLAN

SCALE 0 1.75 4

1: HORIZONTAL SCALE

2: VERTICAL SCALE

3: PLAN SCALE

DESIGNED BY

CB

DATE

JUNE 2025

PROJECT NO.

397-571

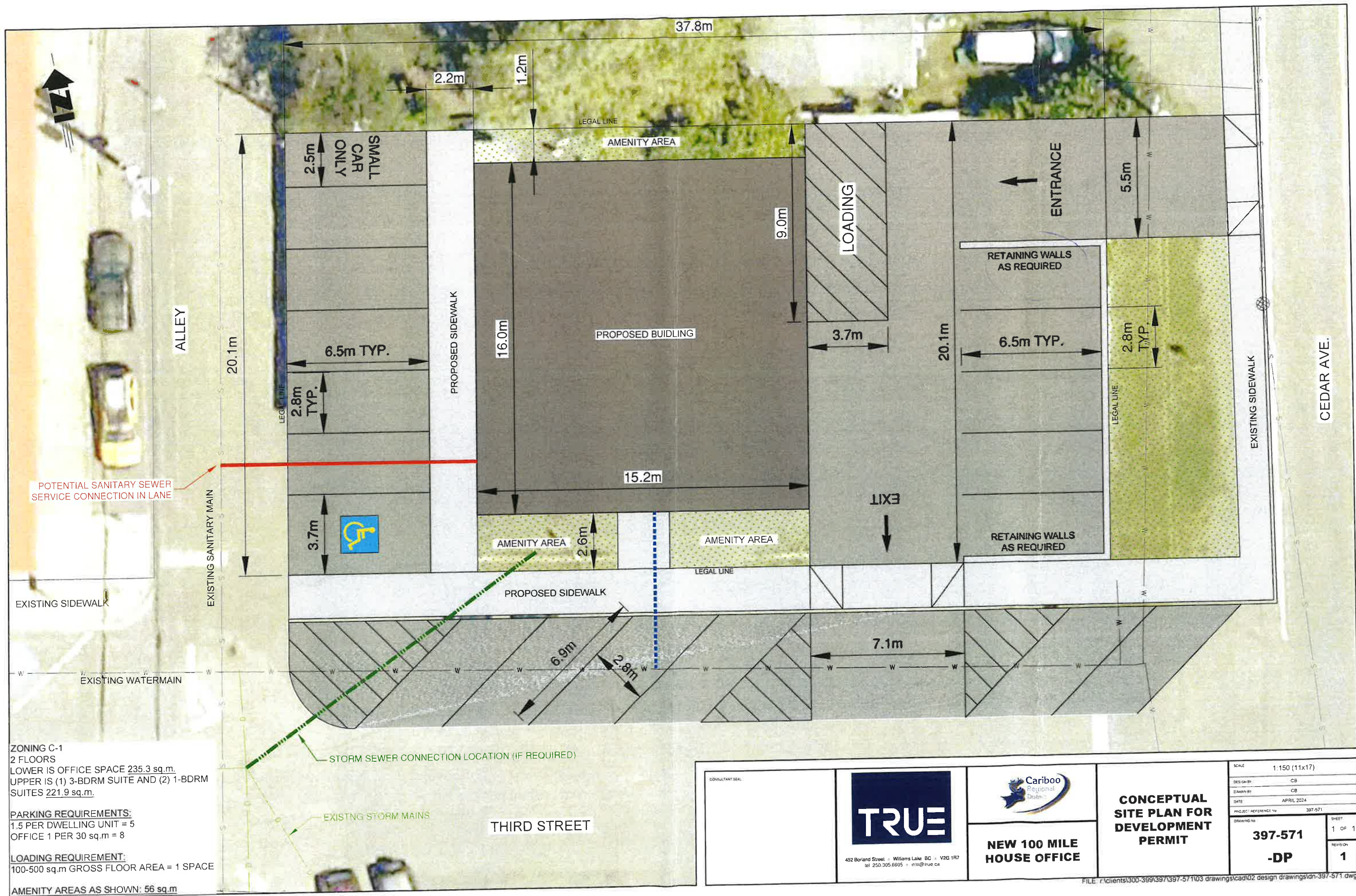
DRAWING NO.

397-571-01

SHEET

1 OF 2





ZONING C-1  
2 FLOORS  
LOWER IS OFFICE SPACE 235.3 sq.m.  
UPPER IS (1) 3-BDRM SUITE AND (2) 1-BDRM SUITES 221.9 sq.m.

**PARKING REQUIREMENTS:**  
1.5 PER DWELLING UNIT = 5  
OFFICE 1 PER 30 sq.m = 8

**LOADING REQUIREMENT:**  
100-500 sq.m GROSS FLOOR AREA = 1 SPACE

AMENITY AREAS AS SHOWN: 56 sq.m

CONSULTANT SEAL	<b>TRUE</b> 452 Boriand Street • Williams Lake, BC • V2G 1R7 tel 250.305.6805 • info@true.ca	 <b>NEW 100 MILE HOUSE OFFICE</b>	<b>CONCEPTUAL SITE PLAN FOR DEVELOPMENT PERMIT</b>		SCALE: 1:150 (11x17)
			DESIGN BY: CB DRAWN BY: CB DATE: APRIL 2024 PROJECT REFERENCE NO: 397-571 DRAWING NO: 397-571	SHEET: 1 OF 1 REVISION: 1	





LANE - REAR ENTRANCE VIEW NORTHWEST



LANE - REAR ENTRANCE VIEW WEST



THIRD STREET MAIN ENTRANCE VIEW SOUTHWEST



THIRD STREET MAIN ENTRANCE VIEW SOUTH



THIRD STREET MAIN ENTRANCE VIEW SOUTH



THIRD STREET MAIN ENTRANCE VIEW SOUTHEAST



NORTHEAST VIEW

EXTERIOR CONCEPT VIEWS

NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE BUILDER/CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION ON THIS DRAWING PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OFFICE OF HARRISON DESIGN FOR CLARIFICATION. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF HARRISON DESIGN, AND CAN ONLY BE REPRODUCED WITH WRITTEN PERMISSION.

CRD OFFICES & SUITES  
CEDAR AVENUE  
100 MILE HOUSE

EXTERIOR CONCEPT VIEWS

**HD**  
HARRISON  
DESIGN  
CUSTOM  
BUILDING  
DESIGNS  
250 398 5659  
P.O. Box 4474  
Williams Lake, B.C.  
V2G 3V5  
harrisondesign@shaw.ca  
www.harrison-design.ca

PROJECT	CRD-OFFICES
SCALE	1/8"=1'-0"
DATE	30 APRIL 2023
DRAWN	LCH/JP

AI

OF 4





SPECIAL SEPARATION LOWER LEVEL - FACING NORTH SIDE LOT LINE  
HALL AREA = 43'-6" x 10' = 435 SQ. FT. (40.4 SQ. M.)  
TOTAL WINDOW OPENINGS AREA: 30 SQ. FT. (2.78 SQ. M.)  
PERCENTAGE OF OPENINGS TO HALL AREA = 6.2 %  
MINIMUM LIMITING DISTANCE REQUIRED = 1.2M  
ALLOWABLE PERCENTAGE OF OPENINGS AT 1.2M LIMITING DISTANCE = 1 %

LANE

Parking  
SEE SITE PLAN

Parking  
SEE SITE PLAN

CEDAR AVENUE

THIRD STREET

GROUND LEVEL PLAN

FLOOR AREAS:  
2532.48 sq. ft. MAIN FLOOR  
2387.48 sq. ft. UPPER (INC. DECK)  
54.50 sq. ft. EXTERIOR STAIRS  
76.38 sq. ft. EXTERIOR STAIRS  
5097.04 sq. ft. TOTAL (469.81 sq. m.)

AMENITY SPACE  
TOTAL AMENITY (GRASS) AREA SHOWN: 450 SQ. FT.

NOTED DIMENSIONS TAKE  
PRECEDENCE OVER SCALED  
DIMENSIONS. THE BUILDER/  
CONTRACTOR SHALL BE  
RESPONSIBLE FOR  
VERIFYING ALL INFORMATION  
ON THIS DRAWING PRIOR  
TO CONSTRUCTION. ANY  
DISCREPANCIES SHALL BE  
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HARRISON DESIGN FOR  
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IS THE EXCLUSIVE PROPERTY  
OF HARRISON DESIGN AND  
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WITH WRITTEN PERMISSION.

CRD OFFICES & SUITES  
CEDAR AVENUE  
100 MILE HOUSE

UPPER FLOOR PLAN

**HD**  
HARRISON  
DESIGN  
CUSTOM  
BUILDING  
DESIGNS  
250 398 5659  
P.O. Box 4474  
Williams Lake, B.C.  
V2G 2V5  
harrisondesign@shaw.ca  
www.harrison-design.ca

PROJECT: CRD-OFFICES  
SCALE: 1/4"=1'-0"  
DATE: 30 APRIL 2009  
DRAWN: LKH/PLH

A2  
OF 4



NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE BUILDER/CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION ON THIS DRAWING PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OFFICE OF HARRISON DESIGN FOR CLARIFICATION. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF HARRISON DESIGN AND CAN ONLY BE REPRODUCED WITH WRITTEN PERMISSION.

CRD OFFICES & SUITES  
CEDAR AVENUE  
100 MILE HOUSE

UPPER FLOOR PLAN

**HD**  
HARRISON  
DESIGN

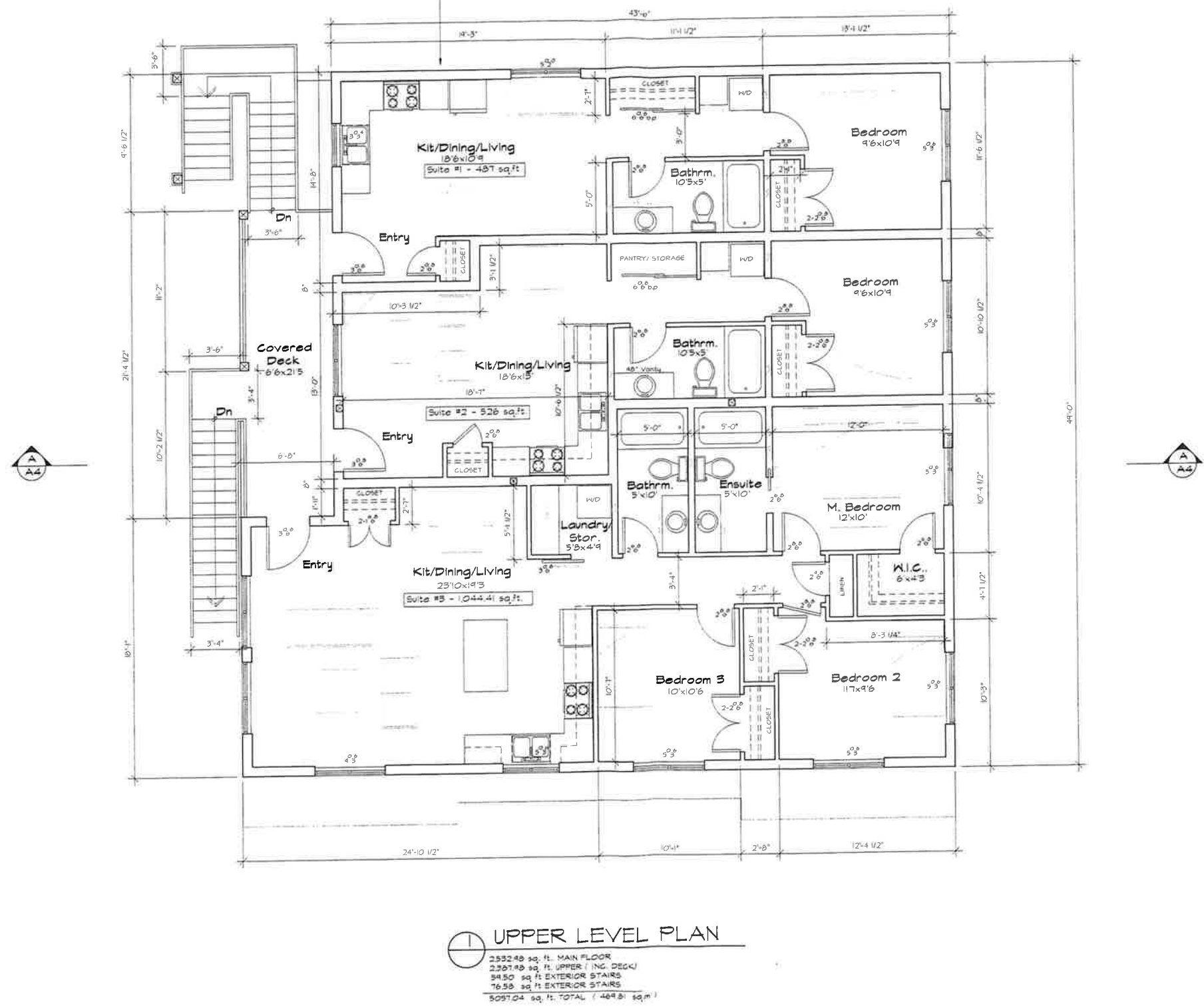
CUSTOM  
BUILDING  
DESIGNS

250 398 5659  
P.O. Box 4474  
Williams Lake, B.C.  
V2G 3V5  
harrisondesign@shaw.ca  
www.harrison-design.ca

PROJECT	CRD-OFFICES
SCALE	1/4"=1'-0"
DATE	30 APRIL 2023
DRAWN	LKH/PJH

A3

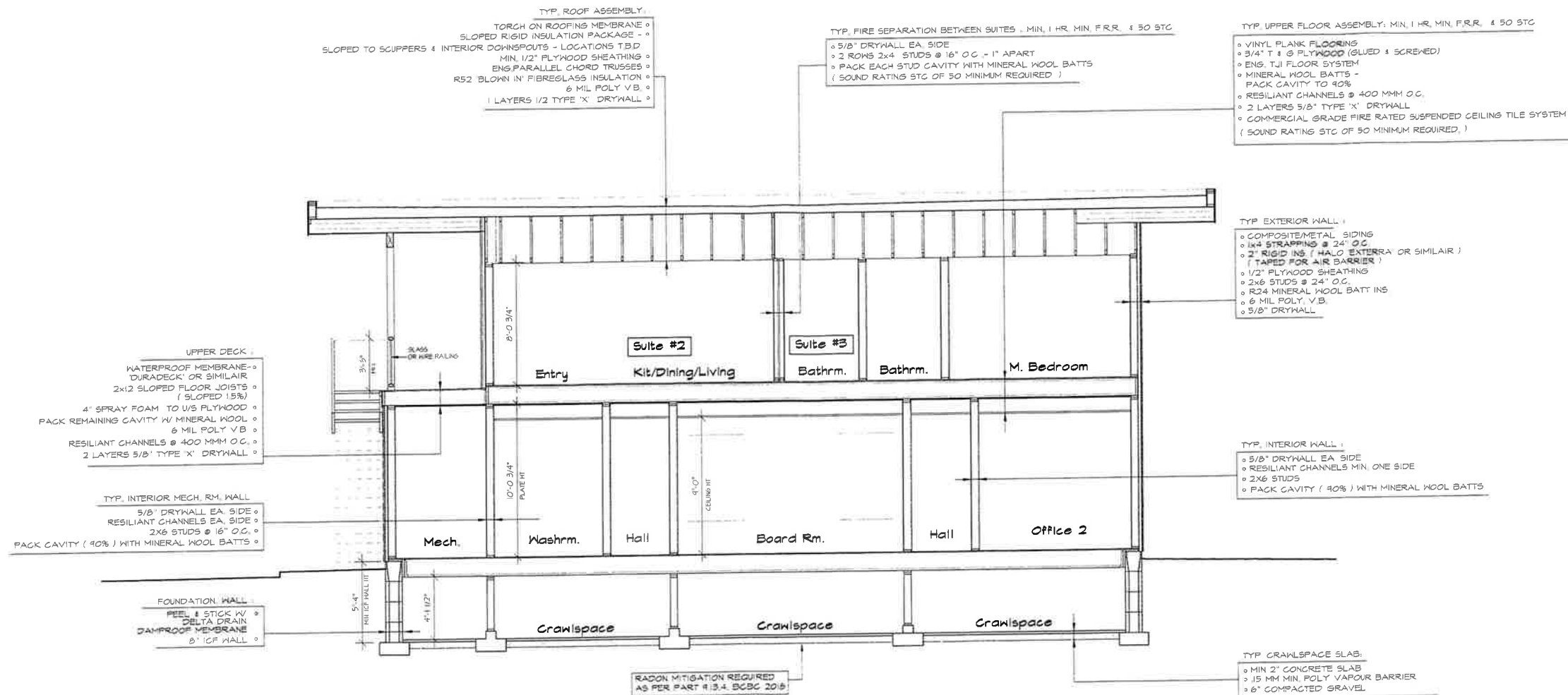
Spatial Separation Lower Level - Facing North Side Lot Line:  
Wall Area = 43'6" x 8' = 348 sq. ft. (32.33 sq. m.)  
Total Window Openings Area: 10 sq. ft. (0.93 sq. m.)  
Percentage of Openings to Wall Area = 2.88 %  
Minimum Lighting Distance Required = 1.2m  
Allowable Percentage of Openings at 1.2m Limiting Distance = 1%



① UPPER LEVEL PLAN

2532.48 sq. ft. MAIN FLOOR  
2267.89 sq. ft. UPPER / ING. DECK  
34.50 sq. ft. EXTERIOR STAIRS  
76.58 sq. ft. EXTERIOR STAIRS  
5097.04 sq. ft. TOTAL (469.81 sq. m.)





1 BUILDING SECTION A-A

### GENERAL NOTES:

- DO NOT SCALE DRAWINGS. REFER TO NOTED DIMENSIONS ONLY
- ALL DIMENSIONS ARE TO FACE OF STUD AND FACE OF CONCRETE OR ICF WALL UNO. EXTERIOR DIMENSIONS ARE TO FACE OF 2" RIGID INSULATION
- ALL WOOD FRAMING MEMBERS TO BE S.P.F. NO. 2 OR BETTER UNO.
- ALL SOLID TIMBER SUPPORT POSTS AS SHOWN ARE TO BE SLU LAM OR APPROVED ENG. TIMBER POSTS
- ALL POSTS TO BE ANCHORED TO CONCRETE WITH METAL BRACKETS, STEEL SADDLES OR APPROVED KNIFE PLATES
- CONCRETE NOTES:**  
SEE ENG. SPECS.
- FOUNDATION NOTES:**  
SEE ENG. SPECS.
- ROOF/ATTIC VENTILATION TO MEET BCBG 2024 PART 9.19.1.2
- ATTIC ACCESS TO BE PROVIDED AS PER PART 9.19.2.1 (2) -BC BUILDING CODE 2024
- CRAWLSPACE ACCESS TO BE PROVIDED AS PER PART 9.19.2.1 (2) -BC BUILDING CODE 2024
- FIRE ENGINEERED COMPONENTS:**  
SUPPLIER TO VERIFY SLU LAM OR LVL BEAMS SPECIFIED & TJI FLOOR SYSTEM & PROVIDE ENG. SPECS.  
-TRUSS SUPPLIER TO PROVIDE ENG. DWGS OF TRUSS SYSTEM TO THE CONTRACTOR FOR SUBMITTAL TO THE BUILDING INSPECTOR PRIOR TO THE FRAMING INSPECTION
- CRAWLSPACE SLAB PREPARATION TO PROVIDE ROUGH IN FOR SUBFLOOR DEPRESSURIZATION SYSTEM (RADON -SOIL GAS) AS PER PART 9.13.4 BCBG BUILDING CODE 2024**
- ELECTRICAL WIRING AND ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ELECTRICAL SAFETY ACT AND PURSUANT REGULATIONS
- EMERGENCY LIGHTING REQUIRED TO OFFICE AS PER 9.9.1.2
- PENETRATIONS OF FIRE SEPARATIONS TO CONFORM WITH 9.10.1.9
- AT A MINIMUM A BASIC MECHANICAL VENTILATION SYSTEM CONFORMING TO SECTION 9.32 OF BCBG 2024 SHALL BE INSTALLED (HRV SYSTEM REQUIRED) MECHANICAL COOLING REQUIRED AS PER 9.33
- IF AN ELECTRIC WATER HEATER IS INSTALLED IT IS TO BE SET NO LOWER THAN 60 DEGREES CELSIUS
- WATER DISCHARGING INTO A BATH TUB OR SHOWER SHALL BE TEMPERATURE LIMITED TO A MAXIMUM OF 49 DEGREES CELSIUS
- 10V SMOKE / CARBON MONOXIDE ALARMS TO BE INSTALLED IN COMPLIANCE WITH SECTION 9.10.1.9 OF THE BCBG 2024. CARBON MONOXIDE ALARMS REQUIRED ON LOWER FLOOR AS WELL AS RESIDENTIAL SUITES AS PER 9.32.4.2
- MECHANICAL ROOMS:**  
MECH. ROOM TO HAVE 1 HR. F.R.R. AS PER 9.10.1.3 W/ 45 MIN. F.R.R. DOOR & FRAME W/ SELF CLOSER  
MECH. ROOM DOOR TO SWING OUT AS PER 9.10.1.2
- ACCESSIBILITY REQUIREMENTS:**  
POWERED ENTRANCE AND ACCESSIBLE WASHROOM DOORS REQUIRED AS PER 3.8.2.1 (1) WHERE EQUIPPED WITH SELF CLOSING DEVICE  
FRONT COUNTER (ONE SECTION OF) TO COMPLY WITH 3.8.2.11 FOR ACCESSIBILITY  
REAR EXIT DOOR TO COMPLY WITH 3.8.3.6  
UNIVERSAL WASHROOMS TO COMPLY WITH 3.8.3.13
- ENERGY COMPLIANCE  
THE BUILDING MUST COMPLY WITH THE NATIONAL ENERGY CODE FOR BUILDINGS AS PER 9.36.1.3 (2) (b)
- ALL WORK TO CONFORM TO THE 2024 EDITION OF THE BC BUILDING CODE AND ITS SUBSEQUENT AMENDMENTS

CRD OFFICES & SUITES  
CEDAR AVENUE  
100 MILE HOUSE

UPPER FLOOR PLAN

**HD HARRISON DESIGN**  
CUSTOM BUILDING DESIGNS  
250 398 5659  
P.O. Box 4474  
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harrisondesign@shaw.ca  
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PROJECT	CRD-OFFICES
SCALE	1/4"=1'-0"
DATE	30 APRIL 2025
DRAWN	LCH/PLH

A4





**District of  
100 MILE HOUSE**

**COUNCIL REPORT  
File No. 570-01**

**Regular Council Meeting  
Aug. 12, 2025**

---

**REPORT DATE:** Aug. 6, 2025

**TITLE:** Development Permit – 270 Third St

**PREPARED BY:** J. Doddridge, Director of Economic Development & Planning

---

**PURPOSE:** To present Council with a Development Permit (DP) application for a new mixed-use office and residential building for approval.

**RECOMMENDATION:** Recommended Resolution

BE IT RESOLVED THAT Council of the District of 100 Mile House authorizes a Central Business District Development Permit be issued to the Cariboo Chilcotin Regional Hospital District for the construction of a new mixed use office-residential building as proposed, and in substantial accordance with the application submitted on June 5, 2025, on the property having a legal description of Lot 2, Plan 8930, DL 31, Lillooet District, also known as 270 Third St; and further

BE IT RESOLVED THAT as a condition of executing this Development Permit, the following conditions must first be met:

- Security in the amount of \$224,940.00 be taken for landscaping and off-site works, including:
  - a sidewalk extension along the south side of the property from Cedar Ave to the lane;
  - paving and curb works on Third Street adjacent to the property; and further

BE IT RESOLVED THAT the Director of Economic Development & Planning duly executes the Permit; and finally

BE IT RESOLVED THAT this Development Permit shall expire 2 years after the date it is issued, as per section 504 (1) of the *Local Government Act*.





## **BACKGROUND INFORMATION / DISCUSSION:**

Attached is a Development Permit (DP) application from the Cariboo Regional District on behalf of the Cariboo Chilcotin Regional Hospital District for the property located at 270 Third St, and legally described as Lot 2, Plan 8930, DL 31, Lillooet District.

The property is designated Commercial Central Business District (CBD) in the Official Community Plan and is zoned Central Business District Commercial (C-1) Zone. An office building with residential uses above are permitted in the C-1 Zone. Until mid July, the land contained 2 older commercial buildings that have subsequently been demolished. It lies within the CBD Development Permit Area.

The new building style incorporates timber finishing, landscaping, pedestrian scale designs, and accessibility features. The proposed traffic circulation patterns should promote good traffic flow through the site. Additional off-site works include a sidewalk extension and completion of the roadway pavement on Third St. to add additional angle street parking.

A Development Variance Permit is also under consideration at this Council meeting, to vary the required number of on-site parking spaces, the size of one parking space, and the size of the one-bedroom apartments.

The DP application has been referred to affected agencies and municipal departments. To date, the following comments have been returned:

- Ministry of Transportation & Transit – MoTT has no objections with the proposal.
- Community Services & Building Inspection – No objection to the DP.
- Fire Department – The fire department has no concerns with these referrals for 270 Third St at this time.

It should be noted that issuing a Development Permit does not preclude the applicant from meeting the requirements of all municipal bylaws, including but not limited to the Works & Services Bylaw, Zoning Bylaw, Building Permit, and Sign Permit.

**OPTIONS:** Staff recommends the following conditions be applied to the Development Permit approval:

That prior to the issuance of the Development Permit, the following conditions be applied:

- Security for the sidewalk extension along the south side of the property
- Security for landscaping
- Security for completing paving and curb works on Third Street adjacent to the property





**BUDGETARY IMPACT:** N/A

**LEGISLATIVE CONSIDERATIONS (Applicable Policies and/or Bylaws):** N/A

**ATTACHMENTS:**

- DP application
- Subject property map
- Central Business District Development Permit Area Guidelines

**Prepared By:** J. Doddridge  
J. Doddridge, Dir Ec Dev & Planning

**Date:** Aug. 6/25

**Reviewed By:** T. Conway  
T. Conway, Dir Community Services

**Date:** Aug 6/25.





DISTRICT OF  
**100 Mile House**

#1-385 Birch Avenue, PO Box 340  
100 Mile House, BC, V0K 2E0  
250-395-2434  
district@100milehouse.com

## LAND USE APPLICATION

Reference to Land Use Application Procedure and Fees Bylaw No. 1258

Official Community Plan  
Zoning Amendment  
Board of Variance

Development Permit  
Development Variance Permit

***Applicants are advised to consult with the District of 100 Mile House staff  
before submitting an application.***

**\*\*This application will not be accepted unless it is complete, and the required fee(s) and plans are attached\*\***

### APPLICATION TYPE

Check appropriate box(s)

- |   |                      |
|---|----------------------|
| <input checked="" type="checkbox"/> Development Permit                            | Fee \$ <u>500.00</u> |
| <input type="checkbox"/> Development Variance Permit                              | Fee \$ _____         |
| <input type="checkbox"/> Zoning Bylaw Amendment                                   | Fee \$ _____         |
| <input type="checkbox"/> Official Community Plan Bylaw Amendment                  | Fee \$ _____         |
| <input type="checkbox"/> Joint Zoning and Official Community Plan Bylaw Amendment | Fee \$ _____         |
| <input type="checkbox"/> Board of Variance  | Fee \$ _____         |
| <b>Total Fee \$ <u>500.00</u></b>   |                      |

### PROPERTY INFORMATION

Legal Description of Property(s): Lot 2 District Lot 31 Lillooet District Plan 8930  
Civic Address of Property(s): 270 A & B Third Street  
Size of Property(s): 8184 sq ft BC Assessment Roll No.: \_\_\_\_\_  
Current Zoning: C-1 Current OCP Designation: \_\_\_\_\_  
Proposed Zoning: \_\_\_\_\_ Proposed OCP Designation: \_\_\_\_\_

### FOR OFFICE USE ONLY

Application Fee Paid: \$ <u>500.00</u>	Receipt Number: <u>103451</u>
Received by: <u>[Signature]</u>	Date: <u>June 5/25</u>



## INFORMATION FORM

APPLICANT/AGENT	OWNER(S)
Name: <u>Cariboo Regional District</u>	Name: <u>Cariboo Chilcotin Regional Hospital District</u>
Mailing Address: <u>Suite D 180 Third Avenue N.</u>	Mailing Address: <u>Suite D 180 Third Avenue N.</u>
<u>Williams Lake, BC</u>	<u>Williams Lake, BC</u>
Postal Code: <u>V2G 2A4</u>	Postal Code: <u>V2G 2A4</u>
Phone Numbers: (Bus): <u>250-392-3351</u>	Phone Numbers: (Bus): <u>250-392-3351</u>
(Home): _____	(Home): _____
(Fax): _____	(Fax): _____
E-mail: <u>lloveng@cariboord.ca</u>	E-mail: <u>ajohnston@cariboord.ca</u>

If the applicant is not the registered owner, complete the owner information and have the property owner(s) sign the application form. Note also the owner requirement in Attachment H.

As owner(s) of the land described in this application, I/we hereby authorize Larry Loveng to act as applicant in regard to this land development application.

Signature:       Signature: \_\_\_\_\_

Date: June 4, 2025      Date: \_\_\_\_\_

I have attached the required documentation as noted on the Application Submission Checklist, along with the required application fee and hereby agree to submit further information deemed necessary for processing this application. Furthermore, I hereby acknowledge that any fees paid are non-refundable except as noted on the fee schedule, if applicable.

I also certify that the information contained herein is correct to the best of my knowledge and belief. I understand **this application, including any plans submitted, is public information.** I authorize reproduction of any plans/reports for the purposes of application processing and reporting.

Signature:       Date: \_\_\_\_\_

I/We Cariboo Regional District agree to allow the agents of the District of 100  
(Applicant's Name)

Mile House to enter onto the subject property to inspect the land and buildings.

**A copy of a State Title of Certificate, or a copy of a Certificate of Indefeasible Title, dated no more than thirty (30) days prior to submission of the application must accompany the application as a proof of ownership.**



**DESCRIPTION OF EXISTING LAND USE: (use separate sheet if necessary)**

This lot currently has two vacant commercial buildings.

**DESCRIPTION OF PROPOSED DEVELOPMENT/USE/BYLAW CHANGE:**

(use separate sheet if necessary)

Our plan is to build a location in the 100 Mile downtown hub for our Cariboo Regional District and Cariboo Chilcotin Regional Hospital District office. We have outgrown our current location and are looking to expand. Our new building will have offices, a board room, as well as 3 apartments for physicians and health care workers who have moved to the area and are needing somewhere to stay as they offer support and find a permanent residence. Our building design fits within the downtown design and will certainly increase the curb appeal in comparison to what is at the location currently. We have worked to ensure our project meets the guidelines set out by the City of 100 Mile and are looking forward to this project.



Services Currently Existing or Readily Available to the Property (check applicable area)

Services	Currently Existing		Readily Available*	
	YES	NO	YES	NO
Road Access	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hydro	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Telephone	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
School Bus Service	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**NOTE:**\*Readily available means existing services can be easily extended to the subject property.

#### Proposed Water Supply Method

District of 100 Mile House

#### Proposed Sewage Disposal Method

District of 100 Mile House

#### Approximate Commencement Date of Proposed Project

May 26, 2025

#### Reasons in Support of Application

Reasons and comments in support of the application (use separate sheet if necessary)

We have attached all of the site plans and supporting documents for our new build. We will be starting with demolition and hazardous material abatement prior to commencing the new build.

Our building will utilize natural building materials, and be finished in a way that is attractive from all viewing points. Our building will also be built in a way that accomodates people of any ability, and enhance pedestrian usage. We are planning on building a mixed residential over commercial building with landscaping that enhances the area and sustainability.



**Maps and Drawings:**

The following maps and drawings must accompany the application:

1. A dimensional Sketch Plan drawn to scale showing the parcel(s) or part of the parcel(s) and the location of existing buildings, structures and uses.

Minimum size required: 11 x 17 (ledger size)

2. A dimensional Site Plan drawn to scale showing the proposed use, buildings and structures, elevations, highway access etc.

Minimum size required: 11 x 17 (ledger size)

3. A Contour Map (Plan) drawn to scale with contour interval of up to no more than 10 metres, if warranted by the topographic condition (of the subject site).

Required: Yes ☐ No ☒

**FOR OFFICE USE ONLY**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Application Form Complete                        | <input checked="" type="checkbox"/> Dimensioned Sketch Plan Submitted           |
| <input checked="" type="checkbox"/> Application Fee Received                         | <input checked="" type="checkbox"/> Dimensioned Site Development Plan Submitted |
| <input checked="" type="checkbox"/> Certificate of Title Received                    | <input type="checkbox"/> Contour Map Submitted                                  |
| <input checked="" type="checkbox"/> Authorization of Owner Submitted (if applicable) | <input type="checkbox"/> Other studies/Reports Submitted (if applicable)        |
| <input checked="" type="checkbox"/> Contaminated Sites Declaration Form              |   |

*Colour Renderings.*



0 5 10 20 30  
SCALE 1 : 300 DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH BY 560mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:300



#### LEGEND

- x<sup>o</sup> DENOTES SPOT ELEVATION
- CB DENOTES CATCH BASIN
- MH DENOTES MANHOLE
- WV DENOTES WATER VALVE
- PH DENOTES FIRE HYDRANT
- GU DENOTES GUY WIRE
- PP DENOTES POWER POLE
- EB DENOTES ELECTRICAL BOX
- GM DENOTES GAS METER
- SN DENOTES SIGN
- TW/BW DENOTES TOP/BOTTOM OF WALL

#### DERIVATIONS

ELEVATIONS ARE IN METRES GEODETIC AND ARE DERIVED FROM CSRS-PPP OBSERVATIONS CGVD28 (HTv2.0)

PROPERTY LINE DIMENSIONS ARE DERIVED FROM FIELD SURVEY AND BC LAND TITLE OFFICE RECORDS

#### LEGAL DESCRIPTION:

LOT 2 DISTRICT LOT 31 LILLOOET DISTRICT PLAN 8930

PARCEL IDENTIFIER: 009-769-030



CERTIFIED CORRECT THIS 14th DAY OF MAY, 2025.

*[Signature]*  
B.C.L.S.  
J. F. SQUIRES

POSITION OF UNDERGROUND SERVICES ARE PLOTTED ACCORDING TO FIELD MEASUREMENTS AND MUNICIPAL RECORDS AND ARE TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

SHEET 1 OF 1	JOB NO. 7387	DATE: MAY 14 2025	No.	DATE:	REVISION:	 <b>AXIS</b> AXIS LAND SURVEYING LTD. B.C. & CANADA LANDS SURVEYORS PO BOX 814 108 MILE RANCH, B.C. V0K 2Z0 T. 604-853-2700	DRAWING: 7387-SITE	PROJECT:  C.R.D. 270 THIRD STREET 100 MILE HOUSE, B.C.
							DRAWN BY: JFS	
							CHECKED BY: JFS	





## 16.4 Central Business District Development Permit Area

### 16.4.1. Category

Development Permit Area #3 (DPA #3) Central Business District is designated under Section 488(1)(f) (form and character of Commercial Development) of the *Local Government Act*.

### 16.4.2. Area

DPA #3 Central Business District consists of those parcels coloured brown on Schedule G - Development Permit Areas.

### 16.4.3. Exemptions

A development permit is not required if all the following conditions are met or do not apply:

- Internal building alterations.
- Alteration of land, including vegetation.
- Exterior maintenance of minor repair of a building or structure which consists of upgrading existing finishing and surface materials with similar materials such as replacing doors and windows, recladding, repainting, reroofing and re-decking.
- Repair or alteration of a building or structure to rectify an unsafe condition if such correction has been ordered by the Building Inspector.
- Any servicing work undertaken by or on behalf of the District of 100 Mile House, including emergency activities.
- Construction of fences and gates that comply with the applicable requirements of the Zoning Bylaw.
- Construction of signage that meet the applicable requirements of the Sign Bylaw.
- Removal of trees not greater than 10 cm in diameter measured at a height of 1.5 metres.
- Removal of any tree that presents a danger to life or property.
- Construction of an accessory building to a maximum of 50 square metres.
- An addition to a principal building not exceeding 25% of the floor area of a building to a maximum of 100 square metres.
- Changes to the exterior design of a building in which the area affected does not exceed 25% on any one side.
- Building permit application not exceeding a cumulative total of \$25,000, excluding interior alterations, in any 12 month period provided that no change in zoning or the use of land is involved.
- Subdivision of vacant land where any future development will be required to obtain a Development Permit land prior to issuance of a Building Permit.
- Subdivision of land in which the number of parcels is not increased.





#### 16.4.4. Justification

The central business district is the commercial centre of the Cariboo and the heart of the community. Development which is of a high standard and is representative of the Cariboo and its history will reflect well on the entire community and be a source of civic pride. The design guidelines contained in this section help to establish consistent character, siting, and layout of development in this important business district of 100 Mile House.

#### 16.4.5. Guidelines

Development permits issued in this section will be in accordance with the following guidelines:

i. Building and structures

- Buildings are encouraged to incorporate building materials that natural to the Cariboo; these include the use of wood, logs, rails, posts, beams, rock and stone.
- Buildings are encouraged to incorporate architectural features which respect the heritage of the Cariboo, including the use of pitched roofs and sub-roofs.
- Any wall of an end building which is visible from the street should be finished to the same standard as the front of the building to provide an attractive appearance.
- The use of exposed concrete blocks visible from public roads is not permitted.
- The front yard setback should be between 0 and 3 metres from the property line to encourage street orientation.
- Buildings should be of a size and scale similar to adjacent buildings.
- Façade design should contribute to a lively pedestrian scale.
- Indirect lighting of signs is encouraged rather than back-lit plastic signs.
- Landscaping, awnings, lighting fixtures, and other structures should be architecturally integrated with the design of the buildings.
- The design of fascia signs containing individual business signage should be integrated into the design of the building. Billboards or roof signs are prohibited.
- Enhance the relationship of commercial areas to adjacent parks and surrounding residential areas by preserving view corridors, by providing convenient pedestrian access to the development, and by giving consideration to the design of side and rear facades.
- Encourage mixed use developments where residential units are located above commercial developments.
- Encourage mixed residential over commercial buildings with parking at the rear, beside, or beneath the development.
- Encourage commercial and residential developments to incorporate safer public spaces that meet Crime Prevention Through Environmental Design standards





- Encourage environmental design standards that improve accessibility to all members of the public.
- Focus people-oriented activities (window shopping, store entrances, cafes, displays, signage) along the streets and in front of buildings. Locate parking, loading, garbage and other ancillary services at the rear or side of buildings.
- The electrical service provisions of buildings should be screened from view or be located so as to minimize their visual appearance.
- Buildings at key intersections should be designed to mark the corner. Various design devices include setbacks at the corner, accentuated entrances and additional height using, for instance, clock towers.
- Blank or solid walls (without glazing) should not exceed approximately five metres in length at street level so that visual interest is maintained along sidewalks for pedestrians. Walls that are blank should be articulated with some type of wall detailing wherever possible.
- Store and building entrances should not be recessed more than two metres. Doorways should be designed to focus on the street in order to create a more immediate and direct relationship between indoor and outdoor activities.

ii. Screening and landscaping

- All waste disposal bins should be completely screened within an enclosure.
- The planting of street trees is encouraged where they do not already exist. The planting and maintaining of grass, hedges and trees, consistent with the existing streetscape is encouraged.
- The use of xeriscape (drought tolerant, low-water requirement) landscaping and other water conservation practices is encouraged to minimize water consumption.
- Loading areas visible from streets and from residential properties must be screened with fencing and/or sufficient landscaping which is mature and of a quality acceptable to the District. The integration of existing mature trees and other vegetation into the overall landscape design is encouraged.
- The design of frontage business signs should be integrated with the design of the building.

iii. Parking and access

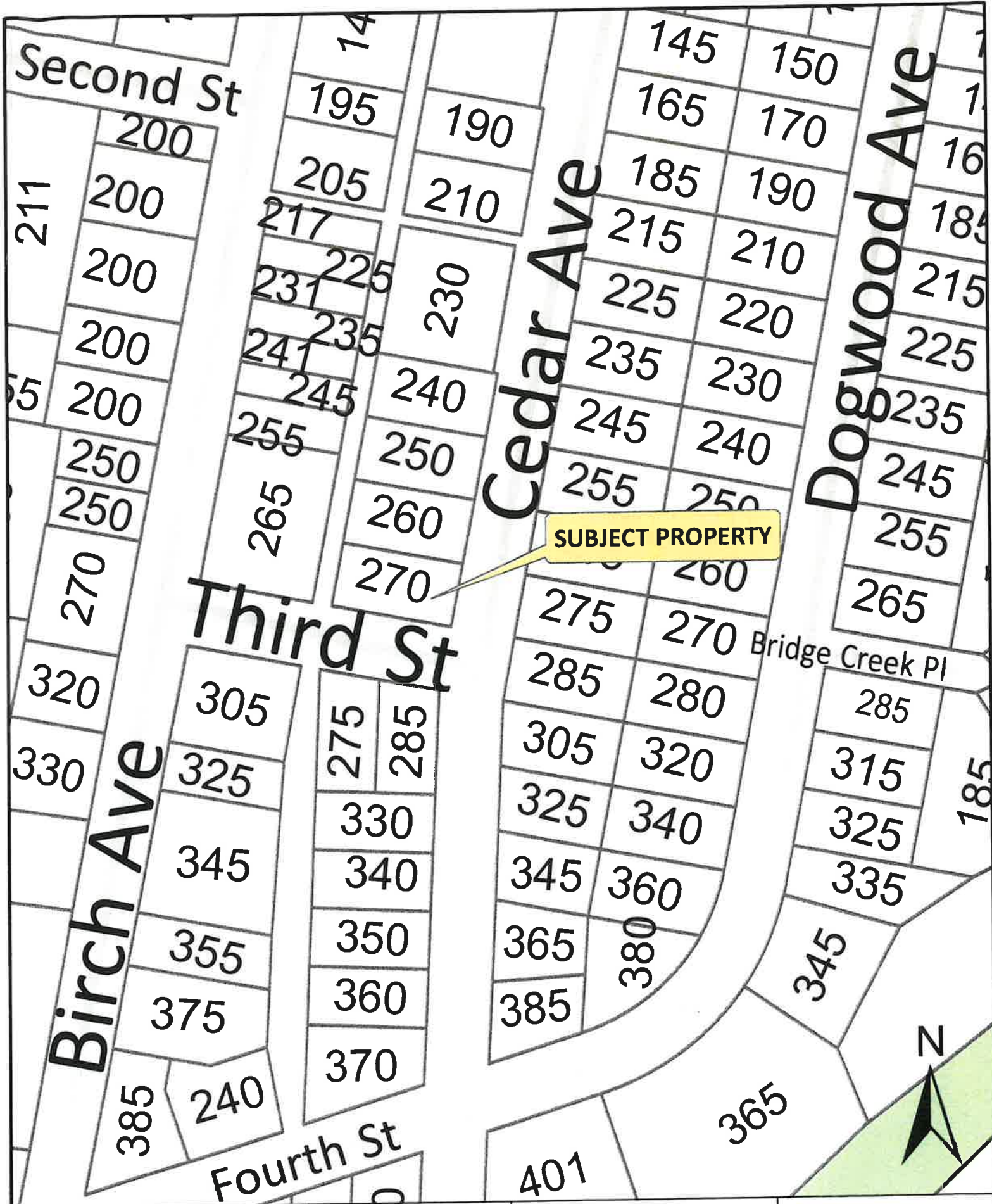
- All off-street parking areas must be adequately landscaped including a landscaped buffer separating the off-street parking area from the property line(s) and from principal buildings.
- A majority of off-street parking should be located to the rear or side of the building(s). Access to commercial premises and to the street should be easily visible from all off-street parking areas.
- Vehicle access to parking and loading areas and circulation on site should minimize interference with pedestrian movement.





- Surface parking areas should be constructed in small increments, or large lots should be divided into small areas through the use of shade trees and shrubs, so that asphalt does not dominate.
- Universal access design principles shall be incorporated to accommodate people of any ability.





100 Mile House

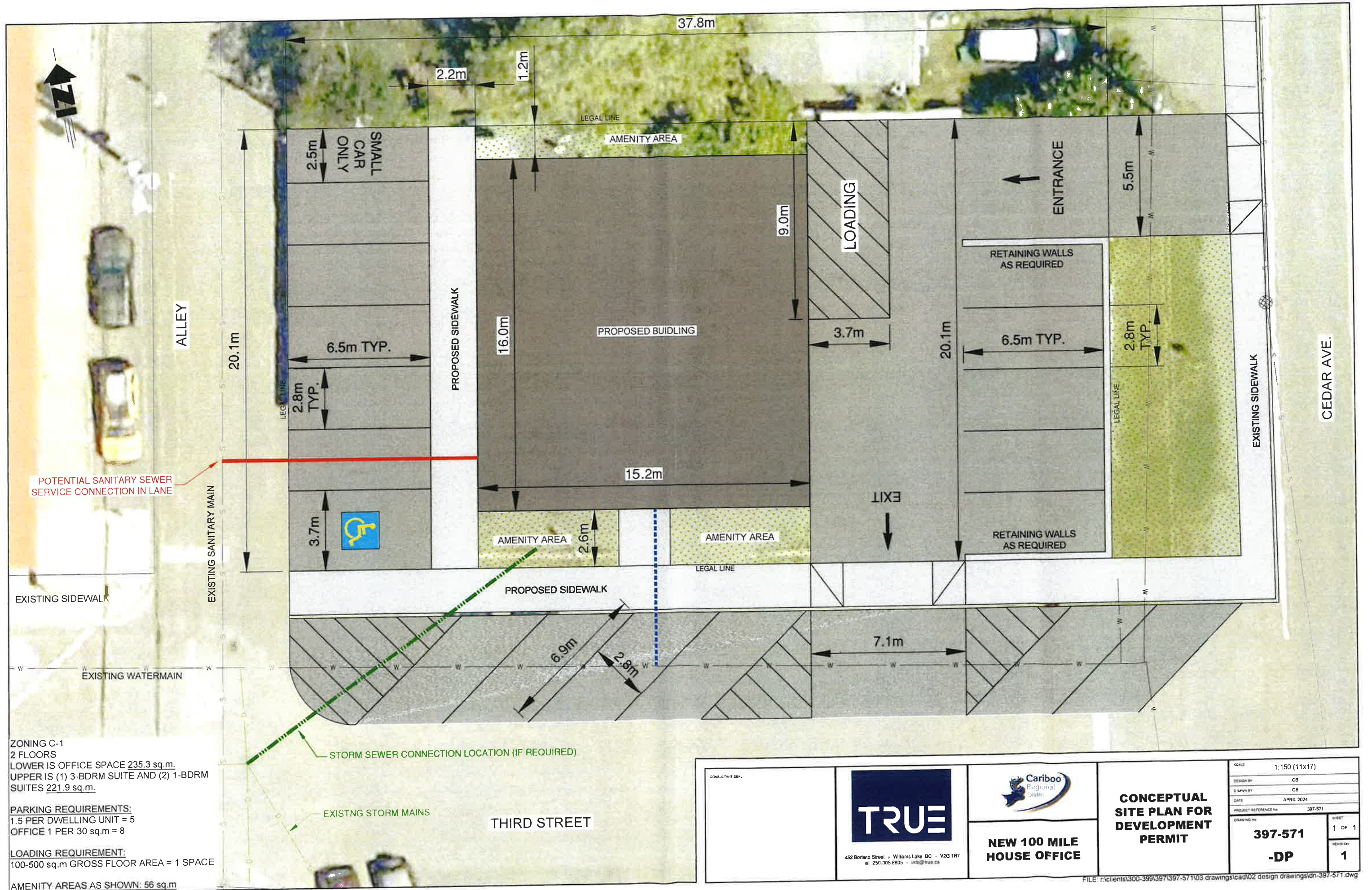
Cariboo Hwy 97

SUBJECT PROPERTY

0 5 10 20 Meters

Date: May 2025





ZONING C-1  
2 FLOORS  
LOWER IS OFFICE SPACE 235.3 sq.m.  
UPPER IS (1) 3-BDRM SUITE AND (2) 1-BDRM SUITES 221.9 sq.m.

PARKING REQUIREMENTS:  
1.5 PER DWELLING UNIT = 5  
OFFICE 1 PER 30 sq.m = 8

LOADING REQUIREMENT:  
100-500 sq.m GROSS FLOOR AREA = 1 SPACE

AMENITY AREAS AS SHOWN: 56 sq.m

CONSULTANT SEAL	 452 Borland Street • Williams Lake BC • V2G 1R7 tel 250.305.6605 • info@true.ca	 NEW 100 MILE HOUSE OFFICE	SCALE 1:150 (11x17)		CONCEPTUAL SITE PLAN FOR DEVELOPMENT PERMIT	397-571 -DP	1 OF 1 1
			DESIGN BY CB				
			DRAWN BY CB				
			DATE APRIL 2024				
			PROJECT REFERENCE No 397-571				

FILE: r:\clients\300-399\397\397-571\03 drawings\cad\02 design drawings\dn-397-571.dwg





LANE - REAR ENTRANCE VIEW NORTHWEST



LANE - REAR ENTRANCE VIEW WEST



THIRD STREET MAIN ENTRANCE VIEW SOUTHWEST



THIRD STREET MAIN ENTRANCE VIEW SOUTH



THIRD STREET MAIN ENTRANCE VIEW SOUTH



THIRD STREET MAIN ENTRANCE VIEW SOUTHEAST



NORTHEAST VIEW

○ EXTERIOR CONCEPT VIEWS

NOTED DIMENSIONS TAKE  
PRECEDENCE OVER SCALED  
DIMENSIONS. THE BUILDER/  
CONTRACTOR SHALL BE  
RESPONSIBLE FOR  
VERIFYING ALL INFORMATION  
ON THIS DRAWING PRIOR  
TO CONSTRUCTION. ANY  
DISCREPANCIES SHALL BE  
REPORTED TO THE OFFICE OF  
HARRISON DESIGN FOR  
CLARIFICATION. THIS DRAWING  
IS THE EXCLUSIVE PROPERTY  
OF HARRISON DESIGN AND  
CAN ONLY BE REPRODUCED  
WITH WRITTEN PERMISSION.

CRD OFFICES & SUITES  
CEDAR AVENUE  
100 MILE HOUSE

EXTERIOR CONCEPT VIEWS

**HD**  
HARRISON  
DESIGN  
CUSTOM  
BUILDING  
DESIGNS  
250 398 5659  
P.O. Box 4474  
Williams Lake, B.C.  
V2G 2V5  
harrisondesign@shaw.ca  
www.harrison-design.ca

PROJECT CRD-OFFICES  
SCALE 1/4"=1'-0"  
DATE 30 APRIL 2023  
DRAWN LCH/PLH

A1

OF 4



NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE BUILDER/CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION ON THIS DRAWING PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OFFICE OF HARRISON DESIGN FOR CLARIFICATION. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF HARRISON DESIGN AND CAN ONLY BE REPRODUCED WITH WRITTEN PERMISSION.

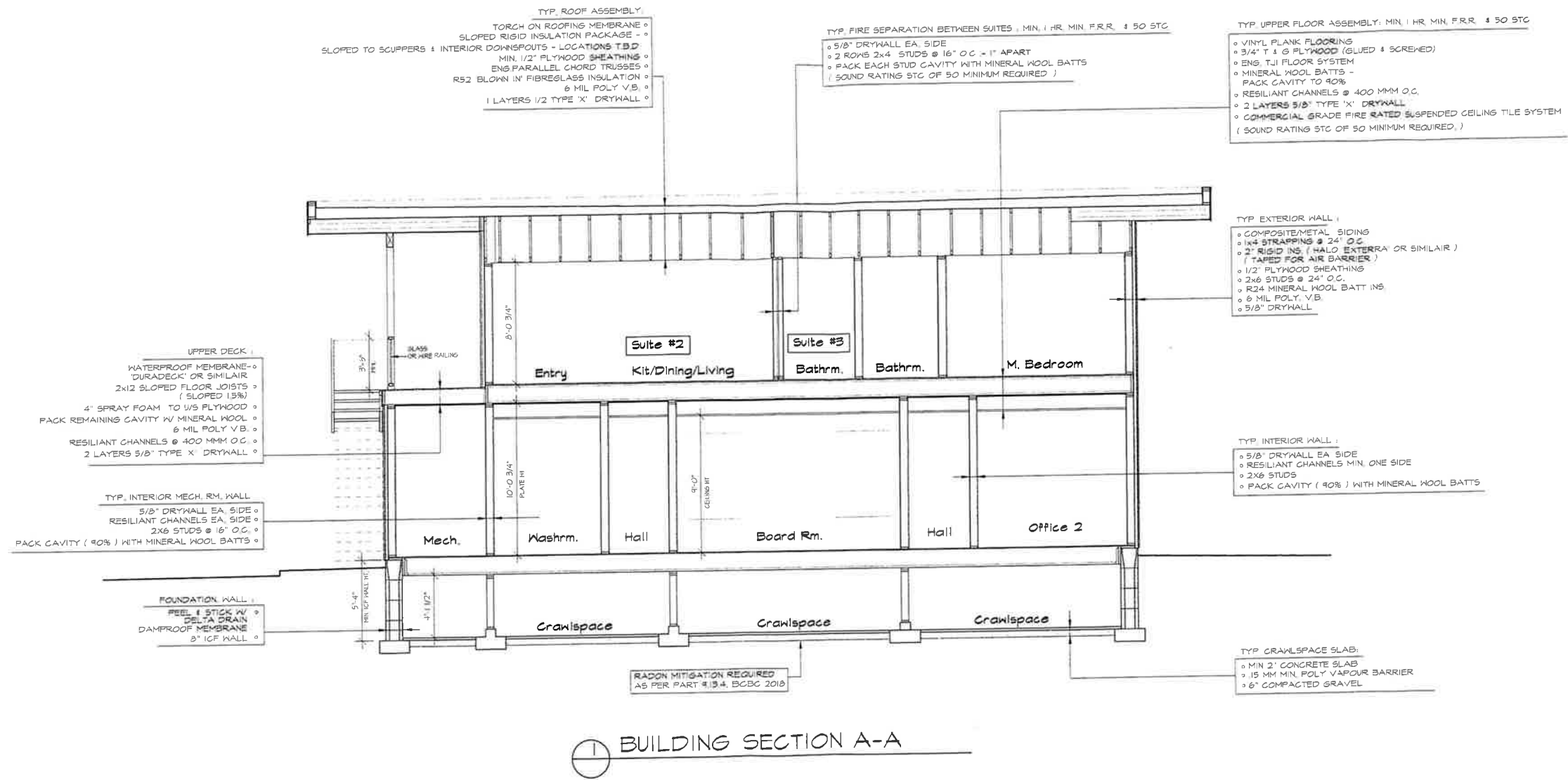
CRD OFFICES & SUITES  
CEDAR AVENUE  
100 MILE HOUSE

UPPER FLOOR PLAN

**HARRISON DESIGN**  
CUSTOM BUILDING DESIGNS  
250 398 5659  
P.O. Box 4474  
Williams Lake, B.C.  
V2G 2V5  
harrisondesign@shaw.ca  
www.harrison-design.ca

PROJECT: CRD OFFICES  
SCALE: 1/4" = 1'-0"  
DATE: 30 APRIL 2023  
DRAWN: LCH/PH

**A4**  
OF 4



1 BUILDING SECTION A-A

### GENERAL NOTES:

- DO NOT SCALE DRAWINGS. REFER TO NOTED DIMENSIONS ONLY.
- ALL DIMENSIONS ARE TO FACE OF STUD AND FACE OF CONCRETE OR ICF WALL UNO EXTERIOR DIMENSIONS ARE TO FACE OF 2" RIGID INSULATION
- ALL WOOD FRAMING MEMBERS TO BE SPF NO. 2 OR BETTER UNO
- ALL SOLID TIMBER SUPPORT POSTS AS SHOWN ARE TO BE GLU LAM OR APPROVED ENG. TIMBER POSTS
- ALL POSTS TO BE ANCHORED TO CONCRETE WITH METAL BRACKETS, STEEL SADDLES OR APPROVED KNIFE PLATES
- CONCRETE NOTES:  
SEE ENG. SPECS.
- FOUNDATION NOTES:  
SEE ENG. SPECS.
- ROOF/ATTIC VENTILATION TO MEET BCBC 2024 PART 9.19.1.2
- ATTIC ACCESS TO BE PROVIDED AS PER PART 9.19.2.1 (2)  
-BC BUILDING CODE 2024
- CRAWLSPACE ACCESS TO BE PROVIDED AS PER PART 9.19.2.1 (2)  
-BC BUILDING CODE 2024
- PRE-ENGINEERED COMPONENTS:  
SUPPLIER TO VERIFY GLU LAM OR LVL BEAMS SPECIFIED & TJI FLOOR SYSTEM & PROVIDE ENG. SPECS  
TRUSS SUPPLIER TO PROVIDE ENG. DNGS OF TRUSS SYSTEM TO THE CONTRACTOR FOR SUBMITTAL  
TO THE BUILDING INSPECTOR PRIOR TO THE FRAMING INSPECTION
- CRAWLSPACE SLAB PREPARATION TO PROVIDE ROUGH IN FOR SUBFLOOR DEPRESSURIZATION SYSTEM  
(RADON -SOIL GAS) AS PER PART 9.13.4 BC BUILDING CODE 2024
- ELECTRICAL WIRING AND ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ELECTRICAL SAFETY ACT AND PURSUANT REGULATIONS
- EMERGENCY LIGHTING REQUIRED TO OFFICE AS PER 9.9.1.2
- PENETRATIONS OF FIRE SEPARATIONS TO CONFORM WITH 9.10.9
- AT A MINIMUM A BASIC MECHANICAL VENTILATION SYSTEM CONFORMING TO SECTION 9.32 OF BCBC 2024 SHALL BE INSTALLED (HRV SYSTEM REQUIRED)  
MECHANICAL COOLING REQUIRED AS PER 9.33
- IF AN ELECTRIC WATER HEATER IS INSTALLED IT IS TO BE SET NO LOWER THAN 60 DEGREES CELSIUS
- WATER DISCHARGING INTO A BATH TUB OR SHOWER SHALL BE TEMPERATURE LIMITED TO A MAXIMUM OF 49 DEGREES CELSIUS
- 110V SMOKE / CARBON MONOXIDE ALARMS TO BE INSTALLED IN COMPLIANCE WITH SECTION 9.10.19 OF THE BCBC 2024.  
CARBON MONOXIDE ALARMS REQUIRED ON LOWER FLOOR AS WELL AS RESIDENTIAL SUITES AS PER 9.32.4.2
- MECHANICAL ROOMS:  
MECH. ROOM TO HAVE 1 HR. F.R.R. AS PER 9.10.10.3 W/ 45 MIN. F.R.R. DOOR & FRAME W/ SELF CLOSER  
MECH. ROOM DOOR TO SWING OUT AS PER 9.10.13.1.2
- ACCESSIBILITY REQUIREMENTS:  
POWERED ENTRANCE AND ACCESSIBLE WASHROOM DOORS REQUIRED AS PER 3.8.2.1 (1)  
WHERE EQUIPPED WITH SELF CLOSING DEVICE  
FRONT COUNTER (ONE SECTION OF) TO COMPLY WITH 3.8.2.11 FOR ACCESSIBILITY  
REAR EXIT DOOR TO COMPLY WITH 3.8.3.6  
UNIVERSAL WASHROOMS TO COMPLY WITH 3.8.3.13
- ENERGY COMPLIANCE:  
THE BUILDING MUST COMPLY WITH THE NATIONAL ENERGY CODE FOR BUILDINGS AS PER 9.36.1.3 (2)(b)
- ALL WORK TO CONFORM TO THE 2024 EDITION OF THE BC BUILDING CODE AND ITS SUBSEQUENT AMENDMENTS









# DISTRICT OF 100 Mile House

I3

## District of 100 Mile House – Bylaw Enforcement Monthly Progress Report

Period: July, 2025

In July there were 6 Requests for Service:

- Unsightly/overgrown lawn complaint x2.
- Barking dogs x2.
- Complaint about trailers parked on Alpine Avenue
- Call to complain about a car with a very loud stereo playing music at night.

Other issues dealt with in July:

- Parking issues. Backwards, parked on grass, parked in no parking areas, parked on Marsh Trail, Obstructing Works/Fire Department access at park, etc.
- Excess time parking issues on Birch, Downtown.
- Filling of containers and totes at Sani dump. \*Ongoing\*
- Business licensing issues.
- Business utility surveys continued
- Unsightly Lawns

Jamie Suggitt  
Bylaw Enforcement Officer  
District of 100 Mile House





**District of  
100 MILE HOUSE**

**COUNCIL REPORT  
File No. 570-01**

**Regular – August 12<sup>th</sup>, 2025**

**REPORT DATE:** August 7<sup>th</sup>, 2025  
**TITLE:** 2025 Property Tax Collection Report  
**PREPARED BY:** S.Elias, Director of Finance

**PURPOSE:**

To provide Council with the tax collections values for 2025.

**RECOMMENDATION:**

Recommended Resolution

**BE IT RESOLVED THAT** the 2025 Property Tax Collection report be received.

**BACKGROUND INFORMATION / DISCUSSION:**

The data below represents the 2025 tax levy and collections as of **July 2<sup>nd</sup>, 2025**. Levies represent all municipal, education and any other third-party collections the District is mandated to levy. Penalties of \$33,157.86. were applied to the current outstanding amount as of July 2<sup>nd</sup>, 2025.

	Current (2025)	Arrears (2024)	Delinquent (2023)	Total
Levied & O/S	\$ 5,986,306.11	\$ 97,053.39	\$ 14,025.49	\$ 6,154,762.32
Collected	\$ 5,572,419.02	\$ 44,331.52	\$ 13,648.59	\$ 5,687,776.46
O/S at July 2/25 (Penalty Included)	\$ 413,887.09	\$ 52,721.87	\$ 376.90	\$ 466,985.86
Total Collection	92.5%			





There was a total of 536 homeowner grants claimed to date (35% regular & 65% senior/additional). Current year collections by the penalty date (92.5%) is 0.5% lower than the 93% collected by the due date in 2024.

**OPTIONS:** N/A

**BUDGETARY IMPACT:** N/A

**LEGISLATIVE CONSIDERATIONS (Applicable Policies and/or Bylaws):** N/A

**ATTACHMENTS:** N/A

**Prepared By:** S. Elias  
S. Elias, Director of Finance

**Date:** Aug 8/25

**Reviewed By:** \_\_\_\_\_  
T. Boulanger, CAO

**Date:** \_\_\_\_\_





District of  
100 MILE HOUSE

COUNCIL REPORT  
File No. 570-01

Regular Council  
Aug. 12<sup>th</sup>, 2025

---

**REPORT DATE:** Aug. 5, 2025  
**TITLE:** Shipping Container Follow-Up  
**PREPARED BY:** J. Doddridge, Director of Economic Development & Planning

---

**PURPOSE:** To request further direction from Council

**RECOMMENDATION:** Recommended Resolution

**BE IT RESOLVED THAT** the shipping container follow-up report dated Aug. 5, 2025 from the Director of Economic Development and Planning be received.

***"Further action and discussion at the discretion of Council"***

**BACKGROUND INFORMATION / DISCUSSION:**

At the Regular Council meeting held July 8, 2025, Council resolved in part: that an exemption be granted for the property located at 555 Cedar Avenue, zoned P-1, to permit a maximum of three (3) shipping containers, provided all containers are fully hidden from public view.

At the request of Councillor Barnett, this item is being returned to Council for further clarification of screening required to fully hide the containers from public view. Note: Interior Health requires a letter from the District outlining the detailed requirements.

**OPTIONS:** N/A

**BUDGETARY IMPACT:** N/A

**LEGISLATIVE CONSIDERATIONS:** Zoning Bylaw 1290, 2016

**ATTACHMENTS:** Resolution 167/25

**Prepared By:** J. Doddridge **Date:** Aug. 5/25  
J. Doddridge, Director of Economic Development and Planning

**Reviewed By:** S. Elias  
S. Elias, Deputy Corporate Officer

**Date:** Aug 6/25



<p><b>Shipping Container Discussion / Direction</b></p>	<p><b>I1</b></p> <p><b>Res: 167/25</b>  Moved By: Councillor Mingo  Seconded By: Councillor Barnett</p> <p><b>BE IT RESOLVED THAT</b> the shipping container information report dated May 23<sup>rd</sup>, 2025 from Administration <u>be received</u>; and further</p> <p><b>BE IT RESOLVED THAT</b> further discussion regarding shipping container limitations, zoning regulations, and screening requirements be deferred to a future Committee of the Whole meeting; and further</p> <p><b>BE IT RESOLVED THAT</b> an exemption be granted for the property located at 555 Cedar Avenue, zoned P-1, to permit a maximum of three (3) shipping containers, provided all containers are fully hidden from public view.</p> <p style="text-align: center;"><b>CARRIED</b></p>
<p><b>Local Government Climate Action Program</b></p>	<p><b>I2</b></p> <p><b>Res: 168/25</b>  Moved By: Councillor Mingo  Seconded By: Councillor Barnett</p> <p><b>BE IT RESOLVED THAT</b> the 2024 Local Government Climate Action Program report <u>be received</u>.</p> <p style="text-align: center;"><b>CARRIED</b></p>
<p><b>District Bylaw Report June 2025</b></p>	<p><b>I3</b></p> <p><b>Res: 169/25</b>  Moved By: Councillor Barnett  Seconded By: Councillor Mingo</p> <p><b>BE IT RESOLVED THAT</b> the Bylaw report for the period of June 1<sup>st</sup> to 30<sup>th</sup>, 2025 <u>be received</u>.</p>





District of  
100 MILE HOUSE

COUNCIL REPORT  
File No. 570-01

Regular Council – August 12th, 2025

**REPORT DATE:** August 7 2025  
**TITLE:** Tax Exemption Bylaw – 1424-2024  
**PREPARED BY:** S. Elias, Director of Finance

**PURPOSE:**

A permissive tax exemption is a means for Council to support organizations within the community which further Council's objectives of enhancing quality of life (economic, social, cultural) and delivering services economically.

The Permissive tax exemption cycle for the District of 100 Mile House is 5 years, the current bylaw is active for 2024-2029.

**DISCUSSION:**

An application has been received for a property tax exemption for Cedar Crest Society for 370 Cedar Ave for the 2026 tax year. This property was purchased by the Society in March of 2025. The total 2025 taxes were \$4,022.30, the municipal portion was \$1947.54.

District Permissive Tax Exemption Policy states:

"Permissive exemptions will normally be provided for a period of up to five years. **Applications received off cycle will be corresponded with the tax exemption cycle.** During the five-year period, updated information is not necessary unless significant changes, financial or otherwise, occur. All permissive tax exemptions must be renewed by application every five years on the District of 100 Mile House Permissive Tax Exemption application form.

Exemption must not be assumed, even if obtained in a prior cycle."





**OPTIONS:** *Instruct staff if Council wishes to waive policy and have the application brought to the September 9<sup>th</sup> meeting for consideration.*

**BUDGETARY IMPACT:** To be reviewed, pending Council's approval to consider the application outside the regular cycle.

**LEGISLATIVE CONSIDERATIONS (Applicable Policies and/or Bylaws):**

- Permissive tax exemptions for the upcoming tax year must be included in an adopted bylaw no later than October 31st of the current year.
- Permissive Tax exemption policy outlining tax exemption cycle.

**ATTACHMENTS:** N/A

Prepared By: S. Elias  
S. Elias, Director of Finance

Date: Aug 7 2025

Reviewed By: \_\_\_\_\_  
T. Boulanger, CAO

Date: \_\_\_\_\_



## DISTRICT OF 100 MILE HOUSE

## Cheque Register-Summary-Bank



AP5090

Page : 1

Date : Aug 08, 2025

Time : 12:24 pm

Supplier : 079850 To ZZ9950

Pay Date : 01-Jul-2025 To 31-Jul-2025

Bank : 0099 - CASH CLEARING/SUSPENSE "BANK" To 6 - 10C

Seq : Cheque No. Status : All

Medium : M=Manual C=Computer E=EFT-PA

K1

Cheque #	Cheque Date	Supplier	Supplier Name	Status	Batch	Medium	Amount
30766	14-Jul-2025	1MDE50	100 MILE DEVELOPMENT CORPORATION	Issued	345	C	25,000.00
30767	14-Jul-2025	1MNO50	100 MILE NORDIC SKI SOCIETY	Issued	345	C	2,500.00
30768	14-Jul-2025	BINC50	BINFORD CONSTRUCTION LTD	Issued	345	C	2,000.00
30769	14-Jul-2025	BOUT50	BOULANGER, TAMMY	Issued	345	C	309.39
30770	14-Jul-2025	CAME50	CAMEO PLUMBING LTD	Issued	345	C	175.71
30771	14-Jul-2025	CAND50	CANADIAN NATIONAL	Issued	345	C	9,684.00
30772	14-Jul-2025	CINT50	CINTAS CANADA LIMITED	Issued	345	C	544.93
30773	14-Jul-2025	COQR50	COQUITLAM RIDGE CONSTRUCTORS LTD	Issued	345	C	837,313.26 ~
30774	14-Jul-2025	DONE50	DONEX Pharmacy & Department Store (2001) L	Issued	345	C	39.74
30775	14-Jul-2025	DYNM50	DYNAMIC ONLINE MARKETING CORP	Issued	345	C	425.25
30776	14-Jul-2025	ENVI50	ENVIRONMENTAL OPERATORS CERTIFICATI	Issued	345	C	630.00
30777	14-Jul-2025	EXEC50	EXETER COUNTRY TIRE	Issued	345	C	665.13
30778	14-Jul-2025	FINN50	FINNING	Issued	345	C	78.70
30779	14-Jul-2025	FLOW50	FLOWPOINT ENVIRONMENTAL SYSTEMS	Issued	345	C	560.00
30780	14-Jul-2025	FORC50	FORSITE CONSULTANTS LTD	Issued	345	C	16,670.85
30781	14-Jul-2025	FROT50	FRONTIER POWER PRODUCTS	Issued	345	C	11,021.41
30782	14-Jul-2025	GFLE50	GFL ENVIRONMENTAL SERVICES INC	Issued	345	C	297.48
30783	14-Jul-2025	GOLK50	GOLBECK, KATHLEEN	Issued	345	C	1,320.00
30784	14-Jul-2025	HOMT50	HOMETOWN TOWING & RECOVERY LTD INC	Issued	345	C	693.00
30785	14-Jul-2025	LONE50	LONE BUTTE SUPPLY LTD	Issued	345	C	437.55
30786	14-Jul-2025	MINT50	MINISTRY OF TRANSPORTATION	Issued	345	C	214.85
30787	14-Jul-2025	NURN50	NURNDY-FORFIRE EMERGENCY GRAPHICS I	Issued	345	C	258.09
30788	14-Jul-2025	SAVE50	SAVE ON FOODS	Issued	345	C	63.50
30789	14-Jul-2025	SOSM50	SOS MARKETING	Issued	345	C	413.28
30790	14-Jul-2025	TASC50	TASCO SUPPLIES LTD	Issued	345	C	56.65
30791	14-Jul-2025	TEAR50	TERRA ARCHAEOLOGY	Issued	345	C	61,269.54 ~
30792	14-Jul-2025	TERR50	TERRALINK CANADA	Issued	345	C	6,428.33
30793	14-Jul-2025	TRAT50	TRAPP, TIMMY K AND TRAPP, KATHLEEN R	Issued	345	C	275.00
30794	31-Jul-2025	STAT50	STANTEC CONSULTING LTD	Issued	358	C	31,787.39
30795	31-Jul-2025	1MDE50	100 MILE DEVELOPMENT CORPORATION	Issued	360	C	67.80
30796	31-Jul-2025	AONP50	AON REED STENHOUSE INC	Issued	360	C	3,444.00
30797	31-Jul-2025	BHAH50	BHATTI, HARPREET	Issued	360	C	2,500.00
30798	31-Jul-2025	BISB50	BISSAT, BRAD	Issued	360	C	310.00
30799	31-Jul-2025	BREE50	BREE CONTRACTING LTD	Issued	360	C	177,845.95 ~
30800	31-Jul-2025	CHRJ50	CHRISTIANSON, JAN ELIZABETH	Issued	360	C	129.60
30801	31-Jul-2025	CINT50	CINTAS CANADA LIMITED	Issued	360	C	681.72
30802	31-Jul-2025	CITN50	CITY OF NANAIMO	Issued	360	C	840.00
30803	31-Jul-2025	CROC50	CROCKER, PETER G AND CROCKER, PATRIC	Issued	360	C	500.00
30804	31-Jul-2025	HARR50	HARRIS, RYAN	Issued	360	C	282.00
30805	31-Jul-2025	IRLT50	DAWSON INTERNATIONAL TRUCK CENTRES	Issued	360	C	168.94
30806	31-Jul-2025	LIEL50	LIEBGOTT, LISBETH	Issued	360	C	118.44
30807	31-Jul-2025	MINK50	MINGO, KERRI	Issued	360	C	172.55
30808	31-Jul-2025	MINS50	MINOSKY, JACK AND MINOSKY, JANICE L	Issued	360	C	697.00
30809	31-Jul-2025	MVAN50	M. VAN NOORT & SONS BULB CO LTD	Issued	360	C	287.76
30810	31-Jul-2025	NCMA50	NORTH CENTRAL LOCAL GOVERNMENT ASS	Issued	360	C	1,634.17
30811	31-Jul-2025	PERF50	PERFORMANCE ALL TERRAIN & RENTALS LT	Issued	360	C	130.90
30812	31-Jul-2025	PETR50	PETERS BROS CONSTRUCTION LTD	Issued	360	C	81,446.93 ~
30813	31-Jul-2025	PLEW50	PLEWES, LYNN	Issued	360	C	134.30
30814	31-Jul-2025	SAVE50	SAVE ON FOODS	Issued	360	C	207.28
30815	31-Jul-2025	ULIN50	ULINE CANADA CORPORATION	Issued	360	C	644.30
30816	31-Jul-2025	WOOM50	WOOD, MALCOLM	Issued	360	C	136.80
04791-0001	03-Jul-2025	BCAS50	BC ASSESSMENT AUTHORITY	Issued	309	T	36,604.64
04792-0001	03-Jul-2025	CACI50	CARIBOO CHILCOTIN REGIONAL HOSPITAL C	Issued	310	T	536,602.00
04794-0001	03-Jul-2025	SHAW50	SHAW CABLE	Issued	313	E	201.60



## DISTRICT OF 100 MILE HOUSE

## Cheque Register-Summary-Bank



AP5090

Page : 2

Date : Aug 08, 2025

Time : 12:24 pm

Supplier : 079850 To ZZ9950

Pay Date : 01-Jul-2025 To 31-Jul-2025

Bank : 0099 - CASH CLEARING/SUSPENSE "BANK" To 6 - 10C

Seq : Cheque No. Status : All

Medium : M=Manual C=Computer E=EFT-PA

Cheque #	Cheque Date	Supplier	Supplier Name	Status	Batch	Medium	Amount
<b>Bank : 4 ROYAL BANK - CURRENT ACCOUNT</b>							
04795-0001	03-Jul-2025	SHAW50	SHAW CABLE	Issued	314	E	162.40
04796-0001	03-Jul-2025	SHAW50	SHAW CABLE	Issued	315	E	125.39
04797-0001	03-Jul-2025	SHAW50	SHAW CABLE	Issued	316	E	312.26
04798-0001	03-Jul-2025	SHAW50	SHAW CABLE	Issued	317	E	254.19
04799-0001	07-Jul-2025	RECE50	RECEIVER GENERAL OF CANADA	Issued	318	E	8,907.87
04800-0001	07-Jul-2025	RECE50	RECEIVER GENERAL OF CANADA	Issued	319	E	16,862.45
04801-0001	07-Jul-2025	PENS50	PENSION CORPORATION	Issued	320	E	9,786.39
04803-0001	08-Jul-2025	CARE50	CARIBOO REGIONAL DISTRICT	Issued	323	T	400,000.00
04804-0001	08-Jul-2025	CARE50	CARIBOO REGIONAL DISTRICT	Issued	324	T	467,684.00
04805-0001	08-Jul-2025	ADTS50	ADT CANADA INC	Issued	325	E	193.99
04806-0001	08-Jul-2025	CLIF50	CANADA LIFE	Issued	326	E	8,584.38
04807-0001	08-Jul-2025	FRCO50	FOUR RIVERS CO-OPERATIVE	Issued	327	E	5,611.35
04808-0001	08-Jul-2025	BLAK50	BLACK PRESS GROUP LTD	Issued	328	E	190.19
04809-0001	08-Jul-2025	CAPL50	CAPILANO UNIVERSITY	Issued	329	E	2,446.26
04810-0001	08-Jul-2025	PITW50	PITNEYWORKS	Issued	330	E	861.00
04811-0001	09-Jul-2025	FORT50	FORTIS BC - NATURAL GAS	Issued	331	E	49.56
04812-0001	09-Jul-2025	BCHY50	BC HYDRO & POWER AUTHORITY	Issued	332	E	12,780.02
04813-0001	09-Jul-2025	BCHY50	BC HYDRO & POWER AUTHORITY	Issued	333	E	129.21
04814-0001	09-Jul-2025	TELM50	TELUS MOBILITY CELLULAR INC	Issued	334	E	626.24
04815-0001	09-Jul-2025	FRCO50	FOUR RIVERS CO-OPERATIVE	Issued	335	E	116.03
04816-0001	09-Jul-2025	FRCO50	FOUR RIVERS CO-OPERATIVE	Issued	336	E	56.95
04817-0001	09-Jul-2025	ROYL50	ROYAL BANK VISA	Issued	337	E	461.02
04818-0001	09-Jul-2025	ROYL50	ROYAL BANK VISA	Issued	338	E	684.92
04819-0001	09-Jul-2025	ROYL50	ROYAL BANK VISA	Issued	339	E	1,133.00
04820-0001	09-Jul-2025	ROYL50	ROYAL BANK VISA	Issued	340	E	3,411.37
04821-0001	09-Jul-2025	BLAK50	BLACK PRESS GROUP LTD	Issued	341	E	441.03
04822-0001	09-Jul-2025	FORT50	FORTIS BC - NATURAL GAS	Issued	342	E	500.80
04823-0001	10-Jul-2025	MINI50	MINISTER OF FINANCE	Issued	343	E	994,422.61
04824-0001	14-Jul-2025	TELU50	TELUS COMMUNICATIONS COMPANY	Issued	344	E	88.52
04825-0001	14-Jul-2025	93MI50	93 MILE AGGREGATES	Issued	346	T	537.60
04825-0002	14-Jul-2025	ABCC50	ABC WEblink	Issued	346	T	367.50
04825-0003	14-Jul-2025	ACEC50	ACE COURIER SERVICES	Issued	346	T	230.11
04825-0004	14-Jul-2025	BCTR50	BC TRANSIT	Issued	346	T	24,814.78
04825-0005	14-Jul-2025	CARE50	CARIBOO REGIONAL DISTRICT	Issued	346	T	4,410.00
04825-0006	14-Jul-2025	CARN50	CARO ANALYTICAL SERVICES	Issued	346	T	1,471.05
04825-0007	14-Jul-2025	CENU50	CENTURY HARDWARE LTD	Issued	346	T	20.14
04825-0008	14-Jul-2025	GART50	GARTH'S ELECTRIC CO LTD - INC NO. 248102	Issued	346	T	398.53
04825-0009	14-Jul-2025	HICA20	HICKS, ASHLEY L	Issued	346	T	750.00
04825-0010	14-Jul-2025	INLA50	INLAND KENWORTH PARTNERSHIP	Issued	346	T	1,673.02
04825-0011	14-Jul-2025	INTU50	INTERNATIONAL UNION OF OPERATING ENG	Issued	346	T	629.08
04825-0012	14-Jul-2025	JUST50	JUSTICE INSTITUTE OF BC	Issued	346	T	410.22
04825-0013	14-Jul-2025	MOEL50	MOORE, GERALD ELIAS	Issued	346	T	250.00
04825-0014	14-Jul-2025	MTSM50	MTS MAINTENANCE TRAINING SYSTEMS INC	Issued	346	T	220.50
04825-0015	14-Jul-2025	NAPA50	NAPA AUTO PARTS - 100 MILE HOUSE	Issued	346	T	2,241.21
04825-0016	14-Jul-2025	NORM50	NORTHERN COMPUTER	Issued	346	T	5,164.42
04825-0017	14-Jul-2025	PATE50	PATERSON SEPTIC SERVICE	Issued	346	T	4,257.49
04825-0018	14-Jul-2025	PERS50	PERFECT SOLUTIONS LTD	Issued	346	T	778.85
04825-0019	14-Jul-2025	ROCY50	ROCKY MOUNTAIN PHOENIX	Issued	346	T	2,619.75
04825-0020	14-Jul-2025	SHEN50	SHERINE INDUSTRIES LTD	Issued	346	T	41.08
04825-0021	14-Jul-2025	SMIT50	SMITTY'S JANITORIAL SERVICES (1993)	Issued	346	T	346.50
04825-0022	14-Jul-2025	TSUN50	TSUNAMI SOLUTIONS LTD.	Issued	346	T	94.92
04825-0023	14-Jul-2025	VIMA50	VIMAR EQUIPMENT LTD	Issued	346	T	1,753.77
04825-0024	14-Jul-2025	ZONW50	ZONE WEST ENTERPRISES LTD	Issued	346	T	730.46



**DISTRICT OF 100 MILE HOUSE**  
**Cheque Register-Summary-Bank**



AP5090

Page : 3

Date : Aug 08, 2025

Time : 12:24 pm

Supplier : 079850 To ZZ9950  
 Pay Date : 01-Jul-2025 To 31-Jul-2025  
 Bank : 0099 - CASH CLEARING/SUSPENSE "BANK" To 6 - 100

Seq : Cheque No. Status : All  
 Medium : M=Manual C=Computer E=EFT-PA

Cheque #	Cheque Date	Supplier	Supplier Name	Status	Batch	Medium	Amount
<b>Bank : 4 ROYAL BANK - CURRENT ACCOUNT</b>							
04826-0001	18-Jul-2025	RECE50	RECEIVER GENERAL OF CANADA	Issued	347	E	16,662.58
04827-0001	18-Jul-2025	RECE50	RECEIVER GENERAL OF CANADA	Issued	348	E	5,899.75
04828-0001	18-Jul-2025	PENS50	PENSION CORPORATION	Issued	349	E	9,873.27
04829-0001	18-Jul-2025	ADTS50	ADT CANADA INC	Issued	350	E	193.99
04830-0001	18-Jul-2025	SHAW50	SHAW CABLE	Issued	351	E	395.14
04831-0001	25-Jul-2025	SHAW50	SHAW CABLE	Issued	352	E	265.39
04832-0001	25-Jul-2025	SHAW50	SHAW CABLE	Issued	353	E	317.33
04835-0001	30-Jul-2025	BCHY50	BC HYDRO & POWER AUTHORITY	Issued	357	E	68.05
04836-0001	31-Jul-2025	1MFI50	100 MILE FIREMEN'S SOCIETY	Issued	359	T	2,100.00
04836-0002	31-Jul-2025	ABRC50	ABRAMS, COLE	Issued	359	T	184.90
04836-0003	31-Jul-2025	ACEC50	ACE COURIER SERVICES	Issued	359	T	254.53
04836-0004	31-Jul-2025	ASSO50	ASSOCIATED FIRE SAFETY	Issued	359	T	27,802.74
04836-0005	31-Jul-2025	BCOE50	BC ONE CALL	Issued	359	T	172.52
04836-0006	31-Jul-2025	BCTR50	BC TRANSIT	Issued	359	T	23,797.49
04836-0007	31-Jul-2025	CARN50	CARO ANALYTICAL SERVICES	Issued	359	T	858.91
04836-0008	31-Jul-2025	CLEA50	CLEARTECH INDUSTRIES INC	Issued	359	T	743.86
04836-0009	31-Jul-2025	CONW50	CONWAY, TODD M	Issued	359	T	122.08
04836-0010	31-Jul-2025	DONA50	DONAHUE AIRFIELD SERVICES	Issued	359	T	1,575.00
04836-0011	31-Jul-2025	DONP50	DONNELLY, PAUL	Issued	359	T	250.00
04836-0012	31-Jul-2025	EXEE50	EXCEED ELECTRICAL ENGINEERING	Issued	359	T	6,100.76
04836-0013	31-Jul-2025	G7IR50	G7 Industrial Repairs & REBUILDS	Issued	359	T	25,539.00
04836-0014	31-Jul-2025	GART50	GARTH'S ELECTRIC CO LTD - INC NO. 248102	Issued	359	T	917.70
04836-0015	31-Jul-2025	HERA50	HERITAGE SIGNWORKS	Issued	359	T	53.76
04836-0016	31-Jul-2025	HICA20	HICKS, ASHLEY L	Issued	359	T	750.00
04836-0017	31-Jul-2025	CORI50	ICONIX WATERWORKS	Issued	359	T	553.69
04836-0018	31-Jul-2025	INNO50	INNOV8 DIGITAL SOLUTIONS	Issued	359	T	1,039.89
04836-0019	31-Jul-2025	INTO50	INTERIOR LOCKSMITH	Issued	359	T	231.00
04836-0020	31-Jul-2025	INTU50	INTERNATIONAL UNION OF OPERATING ENG	Issued	359	T	1,325.82
04836-0021	31-Jul-2025	LEXI50	LEXISNEXIS CANADA INC	Issued	359	T	1,351.35
04836-0022	31-Jul-2025	MTSM50	MTS MAINTENANCE TRAINING SYSTEMS INC	Issued	359	T	1,270.50
04836-0023	31-Jul-2025	PATE50	PATERSON SEPTIC SERVICE	Issued	359	T	1,006.62
04836-0024	31-Jul-2025	PERS50	PERFECT SOLUTIONS LTD	Issued	359	T	809.10
04836-0025	31-Jul-2025	PRAR50	PRAIRIECOAST EQUIPMENT	Issued	359	T	565.73
04836-0026	31-Jul-2025	SMIT50	SMITTY'S JANITORIAL SERVICES (1993)	Issued	359	T	2,388.75
04836-0027	31-Jul-2025	SUNR50	SUNRISE FORD SALES LTD	Issued	359	T	174.71
04836-0028	31-Jul-2025	TRUE50	TRUE CONSULTING GROUP	Issued	359	T	64,452.05
04836-0029	31-Jul-2025	LAWT50	TYRELL LAW FORESTRY CONSULTING	Issued	359	T	815.85
04836-0030	31-Jul-2025	WESW50	WESTERN WATER ASSOCIATES LTD	Issued	359	T	3,172.18
04836-0031	31-Jul-2025	WILL50	WILLIAMS LAKE WATER FACTORY	Issued	359	T	87.50
<b>Total Computer Paid :</b>		<b>1,283,513.47</b>	<b>Total EFT PAP :</b>	<b>1,103,076.50</b>	<b>Total Paid :</b>		<b>4,052,159.58</b>
<b>Total Manually Paid :</b>		<b>0.00</b>	<b>Total EFT File :</b>	<b>1,665,569.61</b>			

146 Total No. Of Cheque(s) ...

**Capital - \$1,247,866.73**